

- SITE INVENTORY NOTES:**
- PREPARER OF THE PLAN: TRIPP ENGINEERING, P.C.
 - APPLICANT NAME: CHRIS MURRAY
 - SITE ADDRESS OF THE DEVELOPMENT: 6317 WRIGHTSVILLE AVE.
 - PROPERTY OWNER: CM & KW INVESTMENTS LLC
 - DEVELOPER: CHRIS MURRAY
 - PROPERTY BOUNDARY: SEE PLAN
TAX PARCEL INFORMATION: R05616-001-013-000
 - PROPERTY ZONING: R-5 RESIDENTIAL (CD)
 - ADJACENT PROPERTY OWNER INFORMATION: SEE PLAN
 - VICINITY MAP: SEE PLAN
 - TOPOGRAPHY: SEE PLAN
 - 100-YEAR FLOOD BOUNDARY: N/A
 - EXISTING DITCHES, CREEKS AND STREAMS: SEE PLAN
 - SOIL: LE-LEON SAND
 - CAMA AEC: N/A
 - CAMA LAND CLASSIFICATION: WATERSHED RESOURCE PROTECTION
 - CONSERVATION RESOURCES: NONE
ASSOCIATED SETBACKS: N/A
 - HISTORIC OR ARCHAEOLOGICAL SITE: N/A
 - CEMETERIES, BURIAL SITES/GROUNDS: N/A
 - FORESTED AREAS, HABITAT AND DOMINANT SPECIES: N/A
 - WETLANDS: NONE
 - PROTECTED SPECIES OR HABITAT: N/A
 - EXISTING OR PROPOSED THOROUGHFARES, BIKE ROUTES, PEDESTRIAN SIDEWALKS OR TRAILS AND TRANSIT FACILITIES: SEE SITE PLAN

REVISIONS		
Date	Description	By
03-04-17	CON & DOT COMMENTS	EJW

LOCATION MAP

Approved Construction Plan

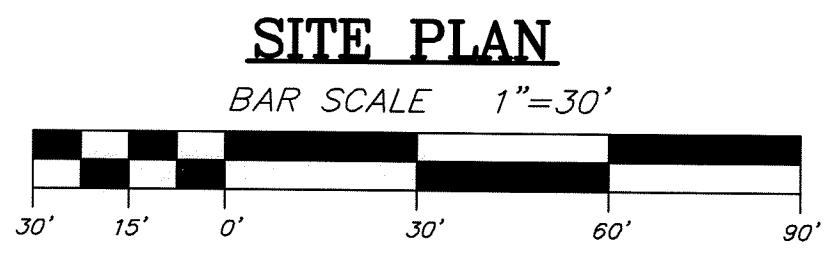
Name	Date
Planning	
Traffic	
Fire	

CITY OF WILMINGTON
NORTH CAROLINA
Public Services • Engineering Division
APPROVED DRAINAGE PLAN

Date: _____ Permit # _____
Signed: _____

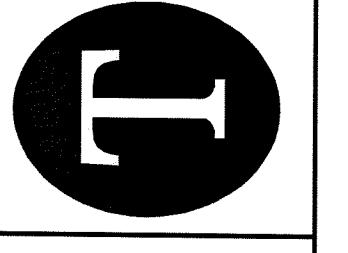
For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

- LEGEND**
- PROPERTY BOUNDARY
 - EXISTING CONTOUR
 - EXISTING WOOD FENCE
 - EXISTING TREE

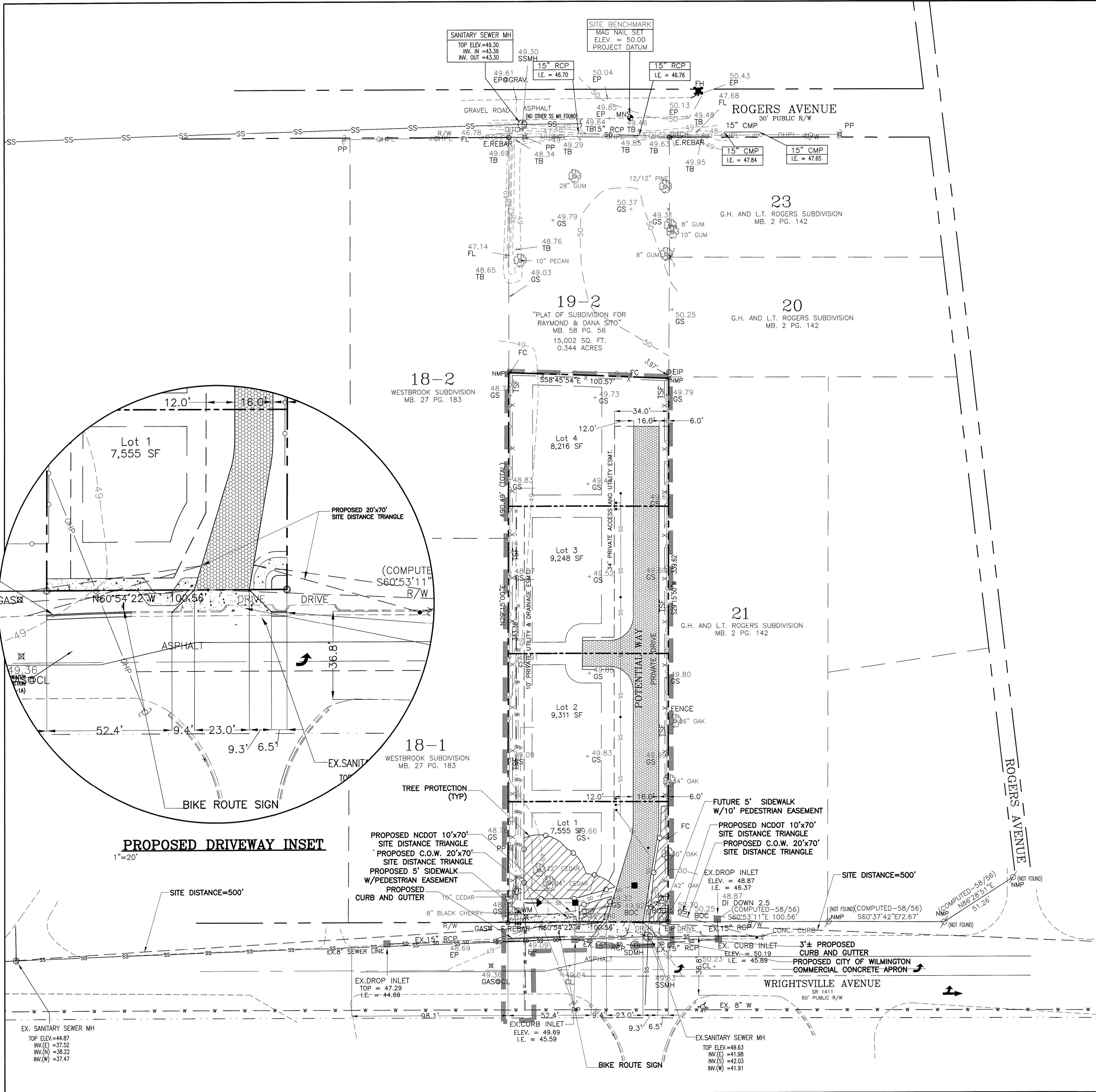


EXISTING CONDITIONS, SITE INVENTORY PLAN
VILLE TERRACE
WILMINGTON, NORTH CAROLINA

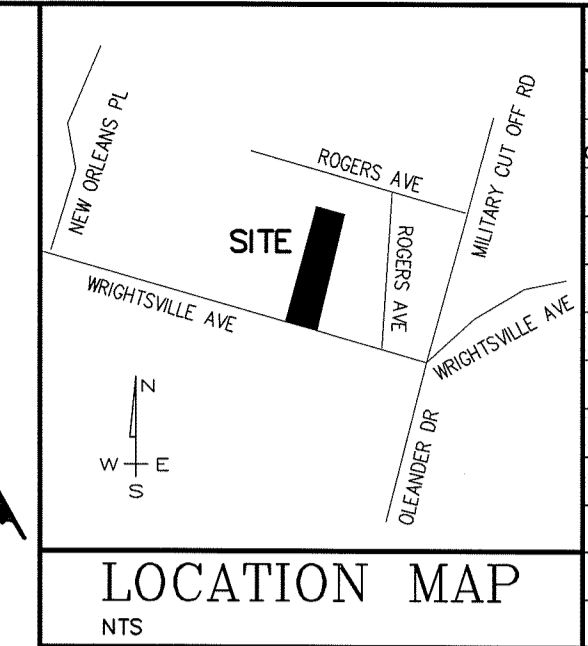
TRIPP ENGINEERING, P.C.
419 Chestnut Street
Wilmington, North Carolina 28401
Phone 910-763-5100
Fax 910-763-5631
© 2014 TRIPP ENGINEERING, P.C.
LIC. 6802



DATE 03-02-17
DESIGN PGT
DRAWN EJW



- NOTES:**
- ZONING**
- 1) TOPOGRAPHY AND TREE SURVEY COMPLETED BY DANFORD AND ASSOC. LAND SURVEYING, P.C.
 - 2) PRIOR TO ANY CLEARING, GRADING OR CONSTRUCTION ACTIVITY, TREE PROTECTION FENCING WILL BE INSTALLED AROUND PROTECTED TREES OR GROVES OF TREES AND NO CONSTRUCTION WORKERS MATERIALS, OR VEHICLES ARE PERMITTED WITHIN THE TREE PROTECTION FENCING.
 - 3) PERMITTING OF BUSINESS IDENTIFICATION SIGNAGE IS A SEPARATE PROCESS. NC DOT/CITY OF WILMINGTON WILL NOT ALLOW OBSTRUCTIONS WITHIN THE RIGHT-OF-WAY.
 - 4) CONTRACTOR SHALL FIELD VERIFY SIZE, MATERIAL, INVERTS AND LOCATION OF ALL EXISTING UTILITIES PRIOR TO INSTALLATION OF PROPOSED CONNECTIONS.
 - 5) NO EXISTING EASEMENTS.
 - 6) ACCESSORY DWELLING UNITS SHALL NOT BE PERMITTED UNLESS THE ACCESS EASEMENT IS IMPROVED TO A CITY STANDARD STREET.
- SOLID WASTE**
- 1) LOTS TO USE CURBSIDE ROLL-OUT TYPE CARTS.
- TRAFFIC**
- 1) ALL PAVEMENT MARKINGS IN PUBLIC RIGHTS-OF-WAY AND FOR DRIVEWAYS ARE TO BE THERMOPLASTIC AND MEET CITY AND/OR NC DOT STANDARDS.
 - 2) ONCE STREETS ARE OPEN TO TRAFFIC CONTACT TRAFFIC ENGINEERING TO REQUEST INSTALLATION OF TRAFFIC AND STREET NAME SIGNS.
 - 3) TRAFFIC CONTROL DEVICES (INCLUDING SIGNS AND PAVEMENT MARKINGS) IN AREAS OPEN TO PUBLIC TRAFFIC ARE TO MEET MUTCD (MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES) STANDARDS.
 - 4) CONTACT TRAFFIC ENGINEERING AT 341-7888 TO ENSURE THAT ALL TRAFFIC SIGNALS FACILITIES AND EQUIPMENT ARE SHOWN ON THE PLAN. CALL TRAFFIC ENGINEERING AT 341-7888 FORTY-EIGHT HOURS PRIOR TO ANY EXCAVATION IN THE RIGHT-OF-WAY.
 - 5) ANY BROKEN OR MISSING SIDEWALK PANELS, DRIVEWAY PANELS AND CURBING WILL BE REPLACED.
 - 6) CONTACT TRAFFIC ENGINEERING AT 741-7888 TO DISCUSS STREET LIGHTING OPTIONS.
 - 7) ALL TRAFFIC CONTROL SIGNS AND MARKINGS OFF THE RIGHT-OF-WAY ARE TO BE MAINTAINED BY THE PROPERTY OWNER IN ACCORDANCE WITH MUTCD STANDARDS.
 - 8) NO ROWS TO BE CLOSED.
 - 9) NO STREETS PROPOSED.
 - 10) NO OFF SITE PARKING PROPOSED.
 - 11) PRIVATE ACCESS EASEMENT IS PROPOSED.
 - 12) DRIVEWAY TO BE IMPROVED TO CITY STANDARDS.
 - 12) A UTILITY CUT PERMIT IS REQUIRED FOR EACH OPEN CUT OF A CITY STREET. CONTACT 341-5888 FOR MORE DETAILS. IN CERTAIN CASES AN ENTIRE RESURFACING OF THE AREA BEING OPEN CUT MAY BE REQUIRED.
 - 13) IT SHALL BE THE RESPONSIBILITY OF THE SUBDIVIDER TO ERECT OFFICIAL STREET NAME SIGNS AT ALL INTERSECTIONS ASSOCIATED WITH THE SUBDIVISION IN ACCORDANCE WITH THE TECHNICAL STANDARDS AND SPECIFICATIONS MANUAL. THE SUBDIVIDER MAY ACQUIRE AND ERECT OFFICIAL STREET NAME SIGNS OR MAY CHOOSE TO CONTRACT WITH THE CITY TO INSTALL THE STREET SIGNS AND THE SUBDIVIDER SHALL PAY THE COST OF SUCH INSTALLATION. CONTACT TRAFFIC ENGINEERING AT 341-7888 TO DISCUSS INSTALLATION OF TRAFFIC AND STREET NAME SIGNS. PROPOSED STREET NAMES MUST BE APPROVED PRIOR TO INSTALLATION OF STREET NAME SIGNS.
 - 14) IF THESE UNITS ARE SOLD AT ANY POINT, THE BUYER MUST RECEIVE A SUBDIVISION STREET DISCLOSURE STATEMENT.
- LANDSCAPING**
- 1) A LANDSCAPING PLAN INDICATING THE LOCATION OF REQUIRED STREET TREES SHALL BE SUBMITTED TO THE CITY OF WILMINGTON TRAFFIC ENGINEERING DIVISION AND THE PARKS AND RECREATION DEPARTMENT FOR REVIEW AND APPROVAL PRIOR TO THE RECORDING OF THE FINAL PLAN.
 - 2) NO OBSTRUCTIONS ARE PERMITTED IN THE SPACE BETWEEN THIRTY (30) INCHES AND TEN (10) FEET ABOVE THE GROUND WITHIN THE TRIANGULAR SITE DISTANCE. PROPOSED BACKFLOW BOXES (AND ALL UTILITY SERVICE FACILITIES) ARE LESS THAN 30" IN HEIGHT.
- CFPIA**
- 1) PROJECT SHALL COMPLY WITH THE CFPIA CROSS CONNECTION CONTROL REQUIREMENTS. WATER METER(S) CANNOT BE RELEASED UNTIL ALL REQUIREMENTS ARE MET AND THE STATE HAS GIVEN THEIR FINAL APPROVAL.
 - 2) IF THE CONTRACTOR DESIRES CFPIA WATER FOR CONSTRUCTION, HE SHALL APPLY IN ADVANCE FOR THIS SERVICE AND MUST PROVIDE A REDUCED PRESSURE ZONE (RPZ) BACKFLOW PREVENTION DEVICE ON THE DEVELOPERS SIDE OF THE WATER METER BOX.
 - 3) ANY IRRIGATION SYSTEM SUPPLIED BY CFPIA WATER SHALL COMPLY WITH THE CFPIA'S CONNECTION CONTROL REGULATION, CALL 332-8419 FOR INFORMATION.
 - 4) ANY BACKFLOW PREVENTION DEVICES REQUIRED BY CFPIA WILL NEED TO BE ON THE LIST OF APPROVED DEVICES FOR USDFCOOR OR ASSE.
 - 5) PUBLIC WATER AND SEWER EXIST WITHIN WRIGHTSVILLE AVE. R/W. NO RECORDS OF INDIVIDUAL EASEMENTS EXIST.
 - 6) CONTACT THE NORTH CAROLINA ONE CALL CENTER AT 1-800-632-4949 PRIOR TO DOING ANY DIGGING, CLEARING OR GRADING.
 - 7) IF EXISTING SERVICE CANNOT BE USED, IT WILL NEED TO BE PROPERLY ABANDONED.
- DRAINAGE**
- 1) CONVEYANCE: LOTS TO SHEET FLOW TO OPEN GRASS SWALE OR PRIVATE ROADWAY.
- ENVIRONMENTAL**
- 1) CLEARING AND GRADING SHALL BE LIMITED TO THAT NECESSARY FOR ESSENTIAL SITE IMPROVEMENTS. PRIOR TO THE ISSUANCE OF A BUILDING PERMIT, PROTECTED TREES SHALL ONLY BE REMOVED FROM INDIVIDUAL HOME SITES AND COMMON AREAS AS NECESSARY TO ACCOMMODATE ESSENTIAL SITE IMPROVEMENTS. NON-MUNICIPAL EASEMENTS AND ALLOWABLE BUILDING ENVELOPES AS DETERMINED BY ESTABLISHED SETBACKS OR STORMWATER ALLOCATIONS.
 - 2) NO WETLANDS EXIST ON SITE.
- CONDITIONS**
- 1) THE USE AND DEVELOPMENT OF THE SUBJECT PROPERTY SHALL COMPLY WITH ALL REGULATIONS AND REQUIREMENTS IMPOSED BY THE LAND DEVELOPMENT CODE, THE CITY OF WILMINGTON TECHNICAL STANDARDS AND SPECIFICATIONS MANUAL AND ANY OTHER APPLICABLE FEDERAL, STATE OR LOCAL LAW, ORDINANCE OR REGULATION, AS WELL AS ANY CONDITION STATED BELOW. IN THE EVENT OF CONFLICT, THE MORE STRINGENT REQUIREMENT OR HIGHER STANDARD SHALL APPLY.
 - 2) APPROVAL OF THIS REZONING REQUEST DOES NOT CONSTITUTE TECHNICAL APPROVAL OF THE SITE PLAN. FINAL APPROVAL BY THE TECHNICAL REVIEW COMMITTEE AND THE ISSUANCE OF ALL REQUIRED PERMITS MUST OCCUR PRIOR TO RELEASE OF THE PROJECT FOR CONSTRUCTION.
 - 3) IF, FOR ANY REASON, ANY CONDITION FOR APPROVAL IS FOUND TO BE ILLEGAL OR INVALID OR IF THE APPLICANT SHOULD FAIL TO ACCEPT ANY CONDITION FOLLOWING APPROVAL, THE APPROVAL OF THE SITE PLAN FOR THE DISTRICT SHALL BE NULL AND VOID AND OF NO EFFECT AND PROCEEDINGS SHALL BE INSTITUTED TO REZONE THE PROPERTY TO ITS PREVIOUS ZONING CLASSIFICATION.
 - 4) THE USE AND DEVELOPMENT OF THE SUBJECT PROPERTY SHALL BE IN ACCORDANCE WITH THE PLAN AS SUBMITTED FEBRUARY 23, 2016. THE PERMITTED USE SHALL BE RESTRICTED TO A FOUR-SLOT SINGLE FAMILY RESIDENTIAL DEVELOPMENT HAVING A TOTAL OF 4 DWELLING UNITS.
 - 5) THE PROPOSED BUILDING ELEVATIONS FOR THE SUBJECT PROPERTY SHALL BE CONSISTENT WITH THOSE SUBMITTED ON MARCH 30, 2016 AND IN ACCORDANCE WITH THE WRIGHTSVILLE CORRIDOR 2030 PLAN.
 - 6) ALL EXISTING PROTECTED TREES NOT IMPACTED BY ESSENTIAL SITE IMPROVEMENTS SHALL BE PRESERVED OR MITIGATED.
 - 7) ALL CITY, STATE AND FEDERAL REGULATIONS SHALL BE FOLLOWED.



REVISIONS		
Date	Description	By
03-04-17	CDW & DOT COMMENTS	EJW

SITE DATA:

PROPERTY OWNER: CM & KW INVESTMENTS LLC
 APPLICANT MAILING ADDRESS: 3330 RIVER ROAD WILMINGTON, NC 28412
 APPLICANT PHONE NUMBER: 810.763.2107
 APPLICANT EMAIL ADDRESS: COMURRAY70@GMAIL.COM

PROJECT ADDRESS: 6317 WRIGHTSVILLE AVE
 P/N NUMBER: R06516-001-013-000

AREA NOT IN A FEMA 100-YEAR FLOOD ZONE.

ZONING DISTRICT: R-5 (CD) RESIDENTIAL DISTRICT (CONDITIONAL DISTRICT)

TRACT AREA: 34,333 SF (0.79 AC)
 DISTURBED AREA: 0.90 AC

SETBACKS REQUIRED: FRONT: 20' REAR: 15' INTERIOR SIDE: 7' CORNER SIDE: 10.5'

PROPOSED BUILDING SETBACKS: FRONT: 30' REAR: 25' SIDE: 10'

BUILDING HEIGHT: 35' MAXIMUM

ON-SITE IMPERVIOUS AREAS: EXISTING IMPERVIOUS: 0 SF OFF-SITE IMPERVIOUS: OFF-SITE SIDEWALK: 505 SF OFF-SITE DRIVEWAY APRON: 300 SF TOTAL OFF-SITE IMPERVIOUS: 805 SF

PERVIOUS DRIVE (NO SW CREDIT): 5,640 SF (16%)
 MAXIMUM IMPERVIOUS NOT TO EXCEED 40% PER LOT

BUILDING USE: (4) 3 BEDROOM SINGLE FAMILY RESIDENCES RESIDENTIAL

PARKING PROVIDED: 2.5 SPACES/UNIT
 PARKING PROVIDED: 1 CAR GARAGE AND 2 DRIVEWAY SPACES

CAMA LAND USE: WATERSHED RESOURCE PROTECTION

PUBLIC WATER AND SEWER BY CFPIA
 EXISTING WATER FLOW: 0 GPD
 PROPOSED WATER FLOW: (4 @ 400 GPD) 1,600 GPD
 EXISTING SEWER FLOW: 0 GPD
 PROPOSED SEWER FLOW: (4 @ 360 GPD) 1,440 GPD

Approved Construction Plan

Name _____ Date _____

Planning _____

Traffic _____

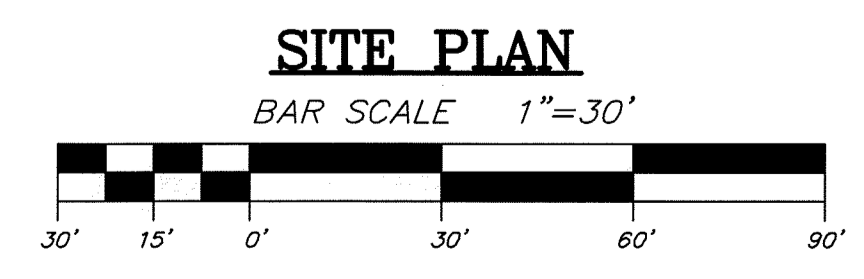
Fire _____

City of WILMINGTON
 NORTH CAROLINA
 Public Services • Engineering Division
 APPROVED DRAINAGE PLAN

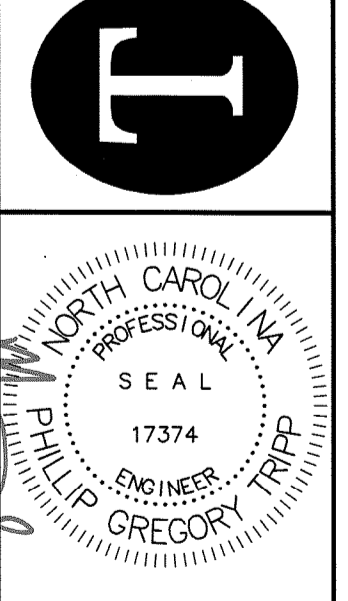
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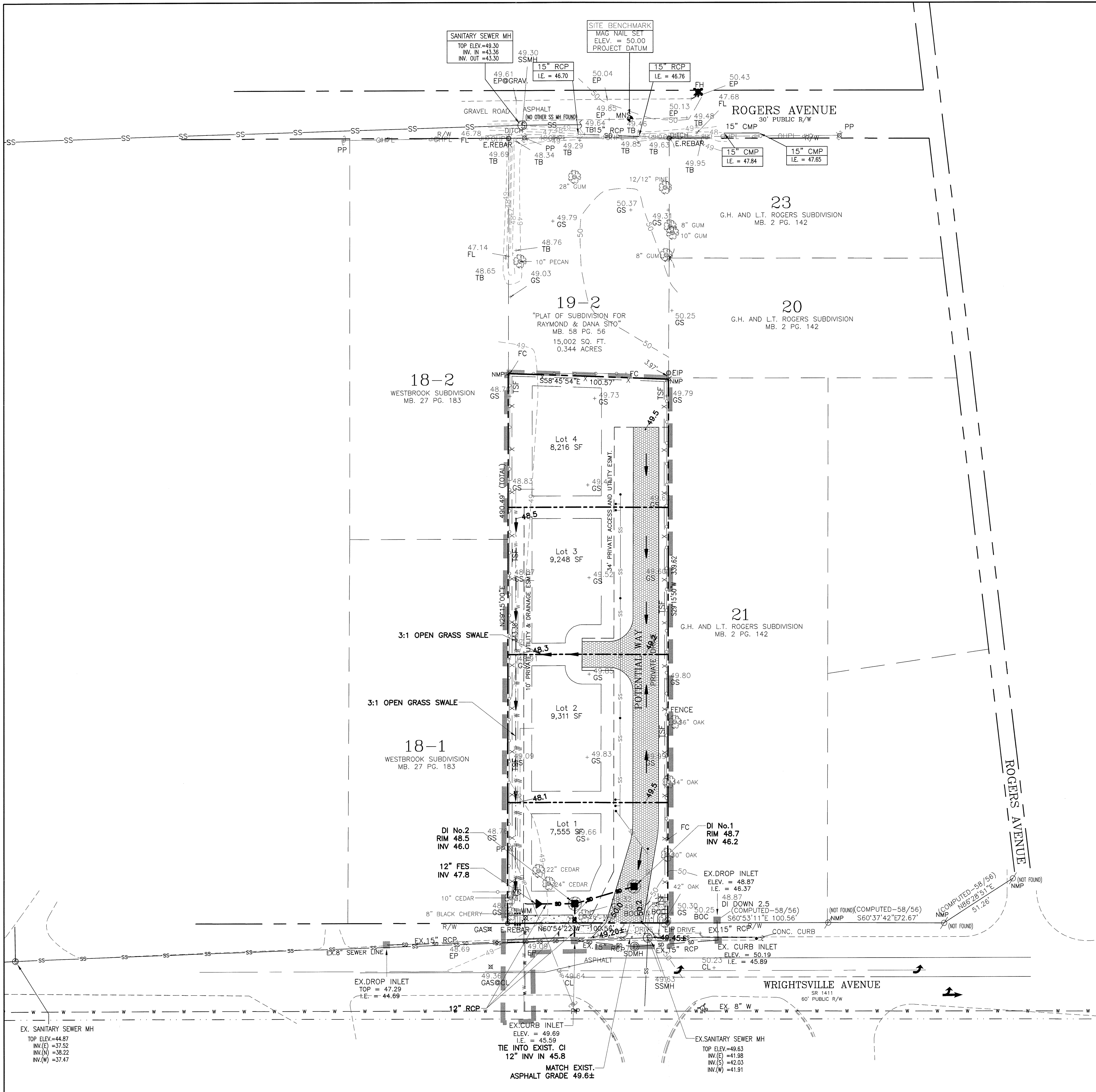
TRIPP ENGINEERING, P.C. SITE AND TRAFFIC PLAN
 419 Chestnut Street
 Wilmington, North Carolina 28401
 Phone 910-763-5100
 Fax 910-763-5631
 © LICENSE NO. 03-197



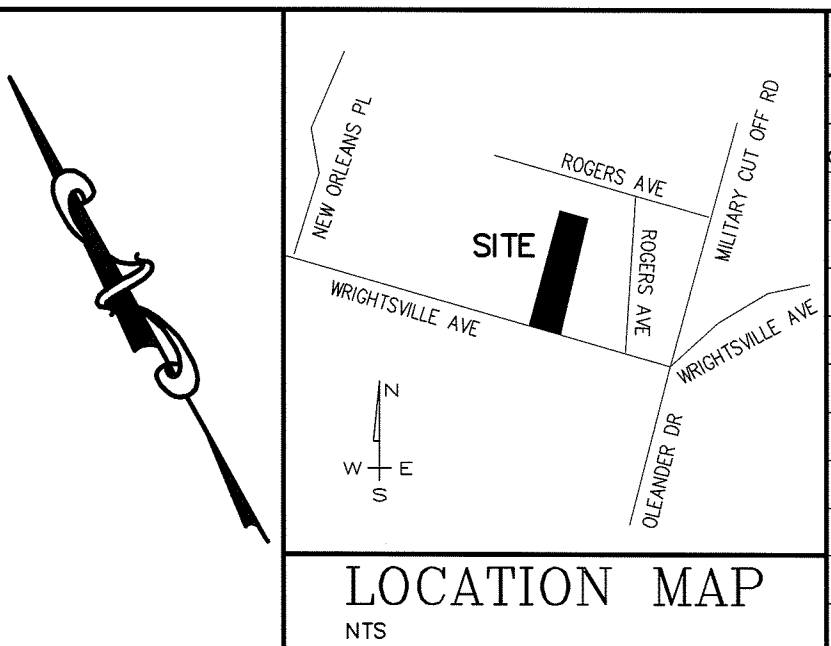
DATE 03-02-17
 DESIGN PGT
 DRAWN EJW

C2

SHEET 2 OF 5
 16024



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 APPLICANT MAILING ADDRESS: 3330 RIVER ROAD
 WILMINGTON, NC 28412
 APPLICANT PHONE NUMBER: 910.763.1107
 APPLICANT EMAIL ADDRESS: COMURRAY700@GMAIL.COM

PROJECT ADDRESS: 6317 WRIGHTSVILLE AVE
 P/N NUMBER: 106516-01-03-000

AREA NOT IN A FEMA 100-YEAR FLOOD ZONE: R-5 (CD)
 ZONING DISTRICT: RESIDENTIAL DISTRICT (CONDITIONAL DISTRICT)
 TRACT AREA: 34,333 SF (0.79 AC)
 DISTURBED AREA: 0.90 AC

SETBACKS REQUIRED: FRONT: 20'
 REAR: 15'
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 CORNER SIDE: 10.5'

PROPOSED BUILDING SETBACKS: FRONT: 30'
 REAR: 25'
 SIDE: 10'

BUILDING HEIGHT: 35' MAXIMUM

ON-SITE IMPERVIOUS AREAS: EXISTING IMPERVIOUS: 0 SF
 OFF-SITE IMPERVIOUS: OFF-SITE SIDEWALK: 505 SF
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 TOTAL OFF-SITE IMPERVIOUS: 805 SF

PERVIOUS DRIVE (NO SW CREDIT): 5,640 SF (16%)
 MAXIMUM IMPERVIOUS NOT TO EXCEED 40% PER LOT

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REVISIONS		
Date	Description	By
03-04-17	FOR C&D COMMENTS	EJW

TRIPP ENGINEERING, P.C.
 GRADING, DRAINAGE, EROSION CONTROL
 AND STORMWATER MANAGEMENT PLAN
VILLE TERRACE
 WILMINGTON, NORTH CAROLINA

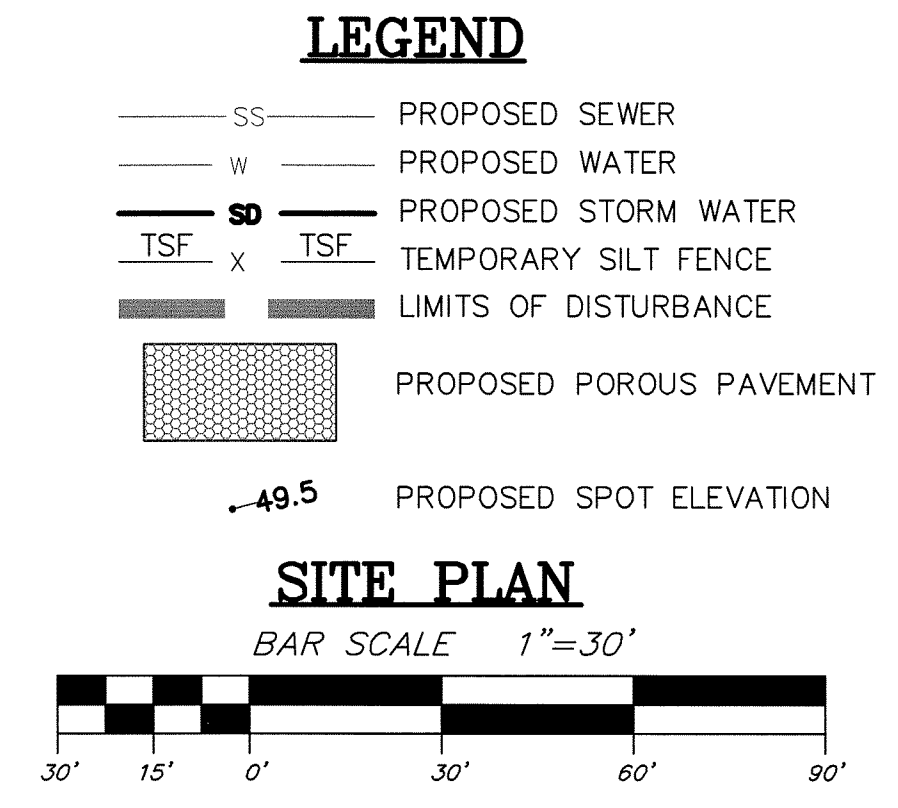
419 Chestnut Street
 Wilmington, North Carolina 28401
 Phone 910-763-5100
 Fax 910-763-5631
 LICENSE No. 10127

Approved Construction Plan

Name	Date
Planning	
Traffic	
Fire	

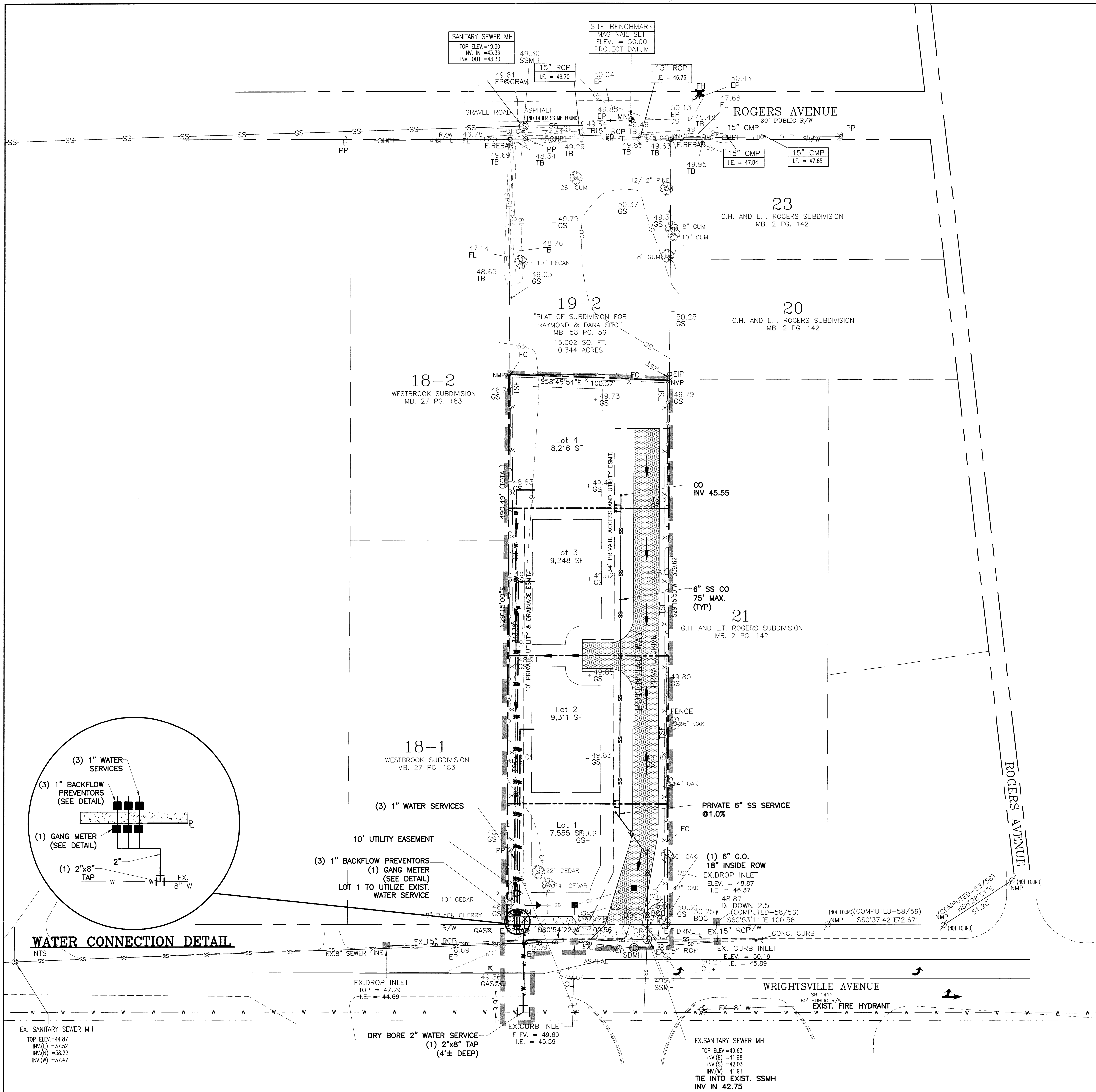
Public Services • Engineering Division
APPROVED DRAINAGE PLAN
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 Signed: _____

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DATE 03-02-17
 DESIGN PGT
 DRAWN EJW

C3
 SHEET 3 OF 5
 16024



- ZONING**
- 1) TOPOGRAPHY AND TREE SURVEY COMPLETED BY DANFORD AND ASSOC. LAND SURVEYING, P.C.
 - 2) PRIOR TO ANY CLEARING, GRADING OR CONSTRUCTION ACTIVITY, TREE PROTECTION FENCING WILL BE INSTALLED AROUND PROTECTED TREES OR GROVES OF TREES AND NO CONSTRUCTION WORKERS MATERIALS, OR VEHICLES ARE PERMITTED WITHIN THE TREE PROTECTION FENCING.
 - 3) PERMITTING OF BUSINESS IDENTIFICATION SIGNAGE IS A SEPARATE PROCESS. NCDOT/CITY OF WILMINGTON WILL NOT ALLOW OBSTRUCTIONS WITHIN THE RIGHT-OF-WAY.
 - 4) CONTRACTOR SHALL FIELD VERIFY SIZE, MATERIAL, INVERTS AND LOCATION OF ALL EXISTING UTILITIES PRIOR TO INSTALLATION OF PERMITTED CONNECTIONS.
 - 5) NO EXISTING EASEMENTS.
 - 6) ACCESSORY DWELLING UNITS SHALL NOT BE PERMITTED UNLESS THE ACCESS EASEMENT IS IMPROVED TO A CITY STANDARD STREET.

- SOLID WASTE**
- 1) LOTS TO USE CURBSIDE ROLL-OUT TYPE CARTS.

- TRAFFIC**
- 1) ALL PAVEMENT MARKINGS IN PUBLIC RIGHTS-OF-WAY AND FOR DRIVEWAYS ARE TO BE THERMOPLASTIC AND MEET CITY AND/OR NCDOT STANDARDS.
 - 2) ONCE STREETS ARE OPEN TO TRAFFIC CONTACT TRAFFIC ENGINEERING TO REQUEST INSTALLATION OF TRAFFIC AND STREET NAME SIGNS.
 - 3) TRAFFIC CONTROL DEVICES (INCLUDING SIGNS AND PAVEMENT MARKINGS) IN AREAS OPEN TO PUBLIC TRAFFIC ARE TO MEET MUTCD (MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES) STANDARDS.
 - 4) CONTACT TRAFFIC ENGINEERING AT 341-7888 TO ENSURE THAT ALL TRAFFIC SIGNALS FACILITIES AND EQUIPMENT ARE SHOWN ON THE PLAN. CALL TRAFFIC ENGINEERING AT 341-7888 FORTY-EIGHT HOURS PRIOR TO ANY EXCAVATION IN THE RIGHT-OF-WAY.
 - 5) ANY BROKEN OR MISSING SIDEWALK PANELS, DRIVEWAY PANELS AND CURBING WILL BE REPLACED.
 - 6) CONTACT TRAFFIC ENGINEERING AT 741-7888 TO DISCUSS STREET LIGHTING OPTIONS.
 - 7) ALL TRAFFIC CONTROL SIGNS AND MARKINGS OFF THE RIGHT-OF-WAY ARE TO BE MAINTAINED BY THE PROPERTY OWNER IN ACCORDANCE WITH MUTCD STANDARDS.
 - 8) NO ROWS TO BE CLOSED.
 - 9) NO STREETS PROPOSED.
 - 10) NO OFF SITE PARKING PROPOSED.
 - 11) PRIVATE ACCESS EASEMENT IS PROPOSED.
 - 12) DRIVEWAY TO BE IMPROVED TO CITY STANDARDS.
 - 13) A UTILITY CUT PERMIT IS REQUIRED FOR EACH OPEN CUT OF A CITY STREET. CONTACT 341-5888 FOR MORE DETAILS. IN CERTAIN CASES AN ENTIRE RESURFACING OF THE AREA BEING OPEN CUT MAY BE REQUIRED.
 - 14) IT SHALL BE THE RESPONSIBILITY OF THE SUBDIVIDER TO ERECT OFFICIAL STREET NAME SIGNS AT ALL INTERSECTIONS ASSOCIATED WITH THE SUBDIVISION IN ACCORDANCE WITH THE TECHNICAL STANDARDS AND SPECIFICATIONS MANUAL. THE SUBDIVIDER MAY ACQUIRE AND ERECT OFFICIAL STREET NAME SIGNS OR MAY CHOOSE TO CONTRACT WITH THE CITY TO INSTALL THE STREET SIGNS AND THE SUBDIVIDER SHALL PAY THE COST OF SUCH INSTALLATION. CONTACT TRAFFIC ENGINEERING AT 341-7888 TO DISCUSS INSTALLATION OF TRAFFIC AND STREET NAME SIGNS. PROPOSED STREET NAMES MUST BE APPROVED PRIOR TO INSTALLATION OF STREET NAME SIGNS.
 - 14) IF THESE UNITS ARE SOLD AT ANY TIME, THE BUYER MUST RECEIVE A SUBDIVISION STREET DISCLOSURE STATEMENT.

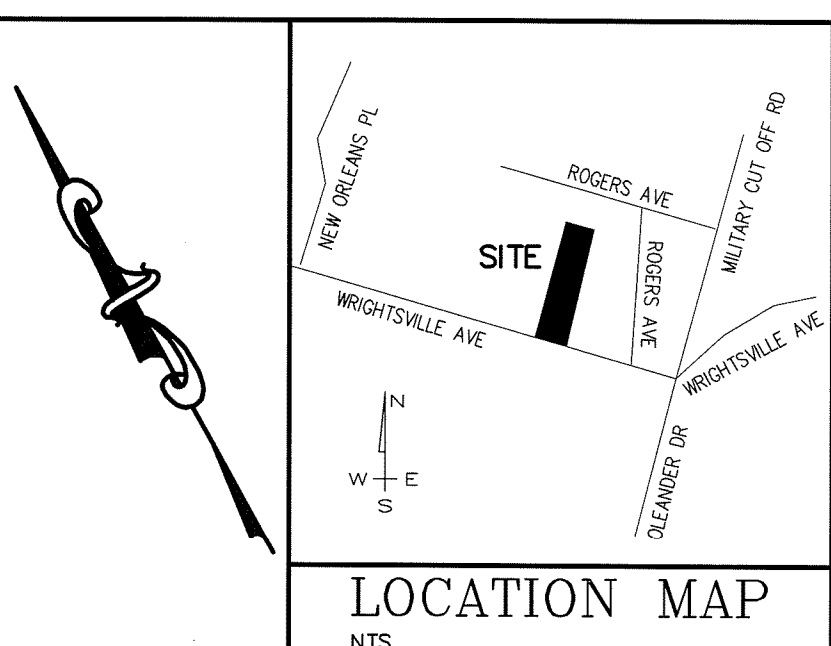
- LANDSCAPING**
- 1) A LANDSCAPING PLAN INDICATING THE LOCATION OF REQUIRED STREET TREES SHALL BE SUBMITTED TO THE CITY OF WILMINGTON TRAFFIC ENGINEERING DIVISION AND THE PARKS AND RECREATION DEPARTMENT FOR REVIEW AND APPROVAL PRIOR TO THE RECORDING OF THE FINAL PLAT.
 - 2) NO OBSTRUCTIONS ARE PERMITTED IN THE SPACE BETWEEN THIRTY (30) INCHES AND TEN (10) FEET ABOVE THE GROUND WITHIN THE TRIANGULAR SITE DISTANCE. PROPOSED BACKFLOW BOXES (AND ALL UTILITY SERVICE FACILITIES) ARE LESS THAN 30" IN HEIGHT.

- CEPUA**
- 1) PROJECT SHALL COMPLY WITH THE CEPUA CROSS CONNECTION CONTROL REQUIREMENTS. WATER METER(S) CANNOT BE RELEASED UNTIL ALL REQUIREMENTS ARE MET AND THE STATE HAS GIVEN THEIR FINAL APPROVAL.
 - 2) IF THE CONTRACTOR DESIRES CEPUA WATER FOR CONSTRUCTION, HE SHALL APPLY IN ADVANCE FOR THIS SERVICE AND MUST PROVIDE A REDUCED PRESSURE ZONE (RPZ) BACKFLOW PREVENTION DEVICE ON THE DEVELOPER'S SIDE OF THE WATER METER BOX.
 - 3) ANY IRRIGATION SYSTEM SUPPLIED BY CEPUA WATER SHALL COMPLY WITH CEPUA'S CONNECTION CONTROL REGULATION. CALL 332-6419 FOR INFORMATION.
 - 4) ANY BACKFLOW PREVENTION DEVICES REQUIRED BY CEPUA WILL NEED TO BE ON THE LIST OF APPROVED DEVICES FOR USFCO/CDHR OR ASSI.
 - 5) PUBLIC WATER AND SEWER EXIST WITHIN WRIGHTSVILLE AVE. R/W. NO RECORDS OF INDIVIDUAL EASEMENTS EXIST.
 - 6) CONTACT THE NORTH CAROLINA ONE CALL CENTER AT 1-800-632-4949 PRIOR TO DOING ANY DIGGING, CLEARING OR GRADING.
 - 7) IF EXISTING SERVICE CANNOT BE USED, IT WILL NEED TO BE PROPERLY ABANDONED.

- DEWATERING**
- 1) CONVEYANCE: LOTS TO SHEET FLOW TO OPEN GRASS SWALE OR PRIVATE ROADWAY.

- ENVIRONMENTAL**
- 1) CLEARING AND GRADING SHALL BE LIMITED TO THAT NECESSARY FOR ESSENTIAL SITE IMPROVEMENTS. PRIOR TO THE ISSUANCE OF A BUILDING PERMIT, PROTECTED TREES SHALL ONLY BE REMOVED FROM INDIVIDUAL HOME SITES AND COMMON AREAS AS NECESSARY TO ACCOMMODATE ESSENTIAL SITE IMPROVEMENTS. NON-MUNICIPAL EASEMENTS AND ALLOWABLE BUILDING ENVELOPES AS DETERMINED BY ESTABLISHED SETBACKS OR STORMWATER ALLOCATIONS.
 - 2) NO WETLANDS EXIST ON SITE.

- CONDITIONS**
- 1) THE USE AND DEVELOPMENT OF THE SUBJECT PROPERTY SHALL COMPLY WITH ALL REGULATIONS AND REQUIREMENTS IMPOSED BY THE LAND DEVELOPMENT CODE, THE CITY OF WILMINGTON TECHNICAL STANDARDS AND SPECIFICATIONS MANUAL AND ANY OTHER APPLICABLE FEDERAL, STATE OR LOCAL LAW, ORDINANCE OR REGULATION, AS WELL AS ANY CONDITION STATED BELOW. IN THE EVENT OF CONFLICT, THE MORE STRINGENT REQUIREMENT OR HIGHER STANDARD SHALL APPLY.
 - 2) APPROVAL OF THIS ZONING REQUEST DOES NOT CONSTITUTE TECHNICAL APPROVAL OF THE SITE PLAN. FINAL APPROVAL BY THE TECHNICAL REVIEW COMMITTEE AND THE ISSUANCE OF ALL REQUIRED PERMITS MUST OCCUR PRIOR TO RELEASE OF THE PROJECT FOR CONSTRUCTION.
 - 3) IF, FOR ANY REASON, ANY CONDITION FOR APPROVAL IS FOUND TO BE ILLEGAL OR INVALID OR IF THE APPLICANT SHOULD FAIL TO ACCEPT ANY CONDITION FOLLOWING APPROVAL, THE APPROVAL OF THE SITE PLAN FOR THE DISTRICT SHALL BE NULL AND VOID AND OF NO EFFECT AND PROCEEDINGS SHALL BE INSTITUTED TO REZONE THE PROPERTY TO ITS PREVIOUS ZONING CLASSIFICATION.
 - 4) THE USE AND DEVELOPMENT OF THE SUBJECT PROPERTY SHALL BE IN ACCORDANCE WITH THE PLAN AS SUBMITTED FEBRUARY 23, 2016. THE PERMITTED USE SHALL BE RESTRICTED TO A FOUR-LOT SINGLE FAMILY RESIDENTIAL DEVELOPMENT HAVING A TOTAL OF 4 DWELLING UNITS.
 - 5) THE PROPOSED BUILDING ELEVATIONS FOR THE SUBJECT PROPERTY SHALL BE CONSISTENT WITH THOSE SUBMITTED ON MARCH 30, 2016 AND IN ACCORDANCE WITH THE WRIGHTSVILLE CORRIDOR 2030 PLAN.
 - 6) ALL EXISTING PROTECTED TREES NOT IMPACTED BY ESSENTIAL SITE IMPROVEMENTS SHALL BE PRESERVED OR MITIGATED.
 - 7) ALL CITY, STATE AND FEDERAL REGULATIONS SHALL BE FOLLOWED.



SITE DATA:

PROPERTY OWNER: CM & KW INVESTMENTS LLC
 APPLICANT MAILING ADDRESS: 3330 RIVER ROAD WILMINGTON, NC 28412
 APPLICANT PHONE NUMBER: 910.790.3107
 APPLICANT EMAIL ADDRESS: COMURRAT@GMAIL.COM

PROJECT ADDRESS: 6317 WRIGHTSVILLE AVE.
 PIN NUMBER: R05616-001-013-000

AREA NOT IN A FEMA 100-YEAR FLOOD ZONE. R-5 (CO)
 ZONING DISTRICT: RESIDENTIAL DISTRICT (CONDITIONAL DISTRICT)
 TRACT AREA: 34,333 SF (0.79 AC)
 DISTURBED AREA: 0.90 AC

SETBACKS REQUIRED: FRONT: 20', REAR: 15', INTERIOR SIDE: 7', CORNER SIDE: 10.5'

PROPOSED BUILDING SETBACKS: FRONT: 30', REAR: 25', SIDE: 10'

BUILDING HEIGHT: 35' MAXIMUM

ON-SITE IMPERVIOUS AREAS:
 EXISTING IMPERVIOUS: 0 SF
 OFF-SITE IMPERVIOUS:
 OFF-SITE SIDEWALK: 505 SF
 OFF-SITE DRIVEWAY APRON: 300 SF
 TOTAL OFF-SITE IMPERVIOUS: 805 SF

PERVIOUS DRIVE (NO SW CREDIT): 5,640 SF (16%)
 MAXIMUM IMPERVIOUS NOT TO EXCEED 40% PER LOT

BUILDING USE: RESIDENTIAL
 (4) 3 BEDROOM SINGLE FAMILY RESIDENCES

PARKING REQUIRED: 2.5 SPACES/UNIT
 PARKING PROVIDED: 1 CAR GARAGE AND 2 DRIVEWAY SPACES

CAMA LAND USE: WATERSHED RESOURCE PROTECTION

PUBLIC WATER AND SEWER BY CEPUA
 EXISTING WATER FLOW: 0 GPD
 PROPOSED WATER FLOW: 1,600 GPD
 EXISTING SEWER FLOW: 0 GPD
 PROPOSED SEWER FLOW: 1,440 GPD
 (4 @ 360 GPD)

LEGEND

SS PROPOSED SEWER
 W PROPOSED WATER
 SD PROPOSED STORM WATER

PERVIOUS PAVEMENT

APPROVED CONSTRUCTION PLAN

Name: _____ Date: _____

Planning: _____

Traffic: _____

Fire: _____

CITY OF WILMINGTON
 NORTH CAROLINA
 Public Services • Engineering Division
 APPROVED DRAINAGE PLAN

Date: _____ Permit #: _____

Signed: _____

WATER CONNECTION DETAIL

(3) 1" WATER SERVICES
 (3) 1" BACKFLOW PREVENTORS (SEE DETAIL)
 (1) GANG METER (SEE DETAIL)
 (1) 2"x8" TAP

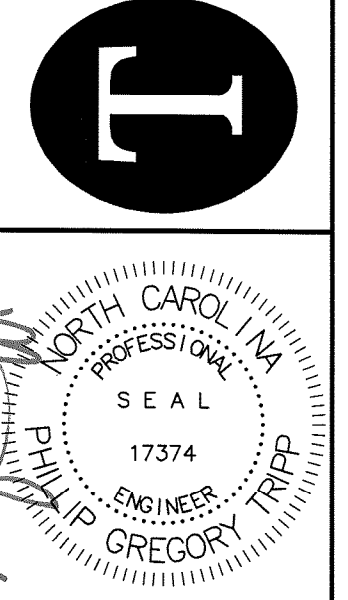
LOT 1 TO UTILIZE EXIST. WATER SERVICE

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

REVISIONS		
Date	Description	By
23-09-17	NCDOT COMMENTS	MLV
25-04-17	CDW & DOT COMMENTS	EJW

UTILITY PLAN
VILLE TERRACE
 WILMINGTON, NORTH CAROLINA

TRIPP ENGINEERING, P.C.
 419 Chestnut Street
 Wilmington, North Carolina 28401
 Phone 910-763-5100
 Fax 910-763-5631
 © 2016 Tripp Engineering, P.C.



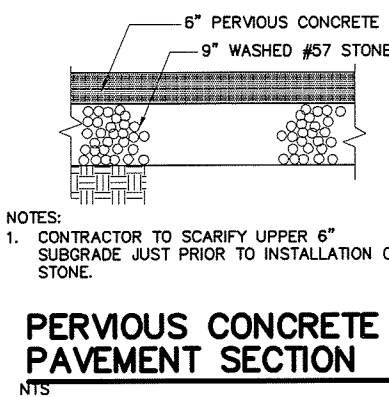
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 DESIGN: PGT
 DRAWN: EJW

C4

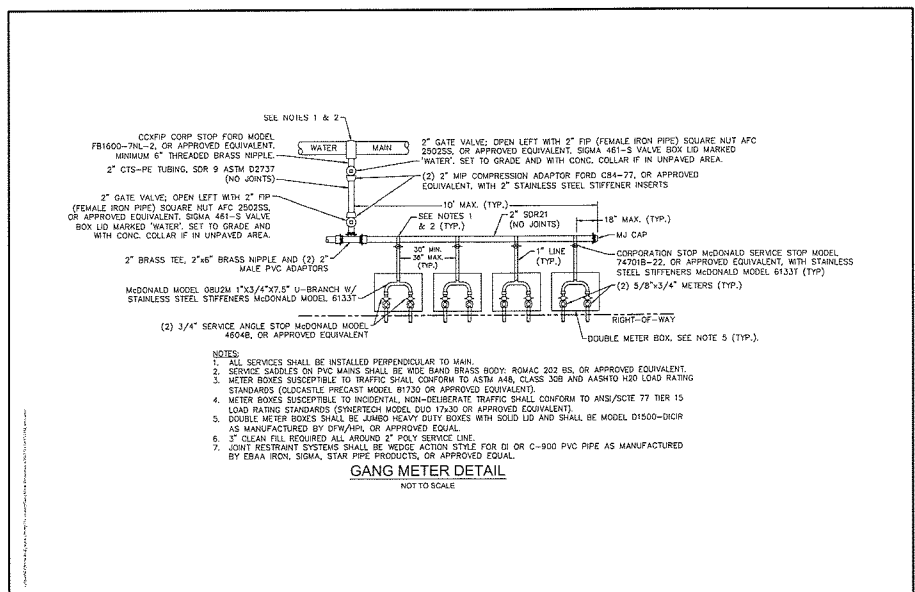
SHEET 4 OF 5
 16024

NOTE:
THE CRITICAL ROOT ZONE (CRZ) OF A TREE IS WHERE THE MAJORITY OF A TREE'S ROOTS LAY. 85% OF MOST TREE ROOTS ARE FOUND IN THE TOP 24" OF THE SOIL AND SUPPLY THE MAJORITY OF NUTRIENTS AND WATER. GENERALLY, ROOTS SPREAD OUT 2-3X THE HEIGHT OF THE TREE.

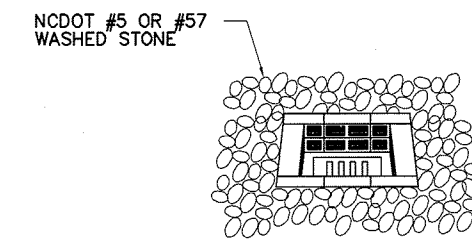
NOTE:
CROWN OF THE TREE IS NEEDED FOR LEAF GROWTH TO PRODUCE OXYGEN, FILTER THE AIR, REDUCE WIND AND SOFTEN NOISE. DO NOT DISBURGE CROWN WITH INTENSIVE PRUNING.



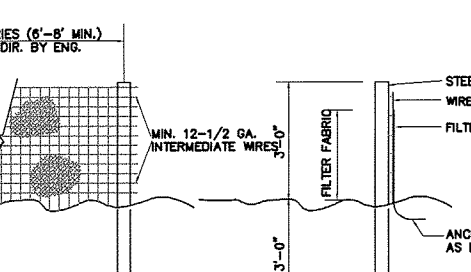
PERVIOUS CONCRETE PAVEMENT SECTION
NTS



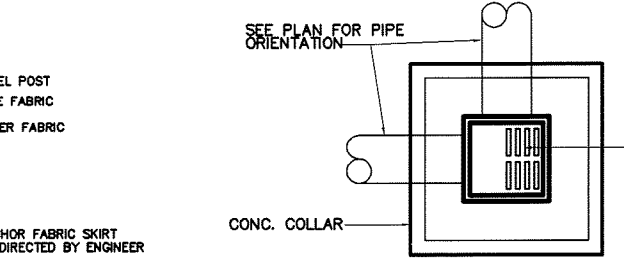
TYPICAL GRASS SWALE



HARDWARE CLOTH AND GRAVEL INLET PROTECTION
NTS



TEMPORARY SILT FENCE
NTS



DROP INLET DETAIL
NTS

SITE AREA DESCRIPTION	STABILIZATION TIMEFRAME	STABILIZATION TIMEFRAME EXCEPTIONS
PERMETER DIKES, SWALES, DITCHES AND SLOPES	7 DAYS	NONE
HIGH QUALITY WATER (DOW) ZONES	7 DAYS	NONE
SLOPES STEEPER THAN 3:1	7 DAYS	IF SLOPES ARE 10' OR LESS IN LENGTH AND ARE NOT STEEPER THAN 2:1, 14 DAYS ARE ALLOWED.
SLOPES 3:1 OR FLATTER	14 DAYS	7 DAYS FOR SLOPES GREATER THAN 50 FEET IN LENGTH
ALL OTHER AREAS WITH SLOPES FLATTER THAN 4:1	14 DAYS	NONE (EXCEPT FOR PERMETERS AND HOW ZONES)

NPDES GROUND STABILIZATION CRITERIA
NTS

SPRING-SUMMER PERMANENT GRASSING DETAIL
SEEDING MIXTURE

SPECIES	RATE (lb/acre)
PENSACOLA BAHARISSA	10
SENECA LERISSA	30
COMMON BERMOUDA GRASS	30
TALL FESCUE	30

SEEDING NOTES
1. WHERE A NEAT APPEARANCE IS DESIRED, OMT SEEDS.
2. USE COMMON BERMOUDA GRASS ONLY ON SOLATED SITES WHERE IT CANNOT BE COME A PEST. BERMOUDA GRASS MAY BE REPLACED WITH S 90/100 CENTIFRUE GRASS.

SEEDING DATES
APRIL 1 - JULY 15

SOIL AMENDMENTS
APPLY LIME AND FERTILIZER ACCORDING TO SOIL TESTS, OR APPLY 3,000 LB/acre GROUND AGRICULTURAL LIMESTONE AND 500 LB/acre 10-10-10 FERTILIZER.

MULCH
APPLY 4,000 LB/acre STRAW OR EQUIVALENT COVER OF ANOTHER SUITABLE MULCH. ANCHOR STRAW BY TACKING WITH ASPHALT, NAILING, OR BY DIMENSIONAL MULCH ANCHORING TOOL. A DISK WITH BLADES SET NEARLY STRAIGHT CAN BE USED AS A MULCH ANCHORING TOOL.

MAINTENANCE
REFERTILIZE THE FOLLOWING APRIL WITH 50 LB/acre NITROGEN AS GROWTH RESUMES. FERTILIZER SHOULD BE APPLIED ONLY WHEN A NEAT APPEARANCE IS DESIRED. OMT SEEDS, AND MOW AS OFTEN AS NECESSARY.

FALL-WINTER PERMANENT GRASSING DETAIL
SEEDING MIXTURE

SPECIES	RATE (lb/acre)
TALL FESCUE (BLEND OF TWO OR THREE IMPROVED VARIETIES)	25

SEEDING DATES
AUGUST 1 - DECEMBER 15

SOIL AMENDMENTS
APPLY LIME AND FERTILIZER ACCORDING TO SOIL TESTS, OR APPLY 3,000-5,000 LB/acre GROUND AGRICULTURAL LIMESTONE (USE THE LOWER RATE ON SANDY SOILS) AND 1,000 LB/acre 10-10-10 FERTILIZER.

MULCH
APPLY 4,000 LB/acre STRAW OR EQUIVALENT COVER OF ANOTHER SUITABLE MULCH. ANCHOR STRAW BY TACKING WITH ASPHALT, NAILING, OR BY DIMENSIONAL MULCH ANCHORING TOOL. A DISK WITH BLADES SET NEARLY STRAIGHT CAN BE USED AS A MULCH ANCHORING TOOL.

MAINTENANCE
REFERTILIZE TO SOIL TESTS OR APPLY 40 LB/acre NITROGEN IN JANUARY OR FEBRUARY. 40 LB IN SEPTEMBER AND 40 LB IN NOVEMBER FROM A 12-4-8 16-4-8 OR SIMILAR TURF FERTILIZER. ADD FERTILIZER APPLICATIONS DURING WARM WEATHER. AS THESE INCREASED STAND LOSSES TO OCCUR, RESEED FERTILIZER. OMT SEEDS, AND MOW AS OFTEN AS NECESSARY.

LATE WINTER & EARLY SPRING TEMPORARY GRASSING DETAIL
SEEDING MIXTURE

SPECIES	RATE (lb/acre)
Rye (grain)	120

SEEDING DATES:
Mountains - Above 2000 ft: Feb. 15-May 15
Midwest - Jan. 1-May 15
Coastal Plain - Dec. 1-Apr. 15

SOIL AMENDMENTS
Follow recommendations of soil tests or apply 2,000 lb/acre ground agricultural limestone and 700 lb/acre 10-10-10 fertilizer.

MULCH
APPLY 4,000 LB/acre STRAW OR EQUIVALENT COVER OF ANOTHER SUITABLE MULCH. ANCHOR STRAW BY TACKING WITH ASPHALT, NAILING, OR BY DIMENSIONAL MULCH ANCHORING TOOL. A DISK WITH BLADES SET NEARLY STRAIGHT CAN BE USED AS A MULCH ANCHORING TOOL.

MAINTENANCE
Refer to the following if growth is not fully adequate. Reseed, fertilize and mulch immediately following erosion or other damage.

TEMPORARY SUMMER GRASSING DETAIL
SEEDING MIXTURE

SPECIES	RATE (lb/acre)
RYE (grain)	120

SEEDING NOTES
MOUNTAINS - MAY 15-NOV. 15
MIDWEST - MAY 1-AUG. 15
COASTAL PLAIN - APR. 15-NOV. 15

SOIL AMENDMENTS
FOLLOW RECOMMENDATIONS OF SOIL TESTS OR APPLY 2,000 LB/acre GROUND AGRICULTURAL LIMESTONE AND 700 LB/acre 10-10-10 FERTILIZER.

MULCH
APPLY 4,000 LB/acre STRAW OR EQUIVALENT COVER OF ANOTHER SUITABLE MULCH. ANCHOR STRAW BY TACKING WITH ASPHALT, NAILING, OR BY DIMENSIONAL MULCH ANCHORING TOOL. A DISK WITH BLADES SET NEARLY STRAIGHT CAN BE USED AS A MULCH ANCHORING TOOL.

MAINTENANCE
Reseed and refertilize damaged areas immediately. Topdress with 50 lb/acre of nitrogen in March. If it is necessary to extend temporary cover beyond June 15, reseed with 50 lb/acre Rye (Festuca) and Fescue (Lolium) or Rye (Festuca) and Fescue (Lolium) in late February or early March.

SITE WORK NOTES

- THE CONTRACTOR SHALL VISIT THE SITE AND BECOME FAMILIARIZED WITH EXISTING CONDITIONS BOTH ON AND IMMEDIATELY ADJACENT TO THE SITE.
- GRUBBING: CONTRACTOR SHALL REMOVE ALL TREES AND VEGETATION WITHIN LIMITS OF CONSTRUCTION UNLESS OTHERWISE DESIGNATED TO REMAIN.
- CLEARING AND STRIPPING: CONTRACTOR SHALL RAKE AND REMOVE ROOTS, STUMPS, VEGETATION, DEBRIS, EXISTING STRUCTURES ABOVE AND BELOW GRADE, ORGANIC MATERIAL OR ANY OTHER UNSUITABLE MATERIAL WITHIN LIMITS OF CONSTRUCTION.
- MULCHING: CONTRACTOR SHALL COORDINATE WITH OWNER AND THEIR GEOTECHNICAL REPRESENTATIVE TO COORDINATE REMOVAL OF ANY SOFT AREAS.
- DISPOSAL: CLEANED, GRUBBED, STRIPPED OR OTHER WASTE MATERIAL SHALL BE REMOVED FROM SITE AND DISPOSED OF IN A PROPERLY PERMITTED FACILITY.
- FILL AND COMPACTION SHOULD COMPLY WITH GEOTECHNICAL REPORT.
- THE CONTRACTOR SHALL NOTE THAT THE GRADING PLAN MAY NOT REPRESENT A BALANCED EARTHWORK CONDITION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CUT AND FILL QUANTITIES AND GRADABLE INSTALLATION TO SPECIFIED GRADES.
- THE CONTRACTOR SHALL FURNISH SUITABLE BORROW MATERIAL FROM AN OFF-SITE PROPERLY PERMITTED FACILITY AS REQUIRED.
- THE CONTRACTOR IS RESPONSIBLE FOR THE LOCATION AND PROTECTION OF ALL EXISTING UTILITIES DURING CONSTRUCTION. BEFORE COMMENCING ANY EXCAVATIONS IN OR ALONG ROADWAYS OR RIGHT-OF-WAYS, PUBLIC AREAS OR IN PRIVATE EASEMENTS, THE CONTRACTOR SHALL NOTIFY ALL APPROPRIATE PERSONNEL OF THEIR INTENT TO EXCAVATE. IN WRITING, NOT LESS THAN 10 DAYS PRIOR TO EXCAVATING.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE DISCONNECTION/RECONNECTION AND/OR THE RELOCATION OF ALL EXISTING UTILITIES WITH APPROPRIATE PERSONNEL.
- EXISTING SURVEYING PERFORMED BY DANFORD AND ASSOCIATES LAND SURVEYING, PC SUPPLIED BY THE OWNER. THE CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS AT THE SITE. FURTHERMORE, THE CONTRACTOR SHALL REPORT ALL DISCREPANCIES OR QUESTIONS TO THE ENGINEER PRIOR TO INSTALLATION.
- THE CONTRACTOR SHALL PROVIDE ANY AND ALL LAYOUT REQUIRED TO CONSTRUCT HIS WORK UNLESS OTHERWISE DIRECTED BY OWNER.
- ALL PVC UTILITY MAINS SHALL BE INSTALLED WITH A MINIMUM OF 36" COVER AT FINAL GRADE.
- ALL SERVICE CONNECTIONS SHALL BE INSTALLED TO MEET ALL LOCAL AND STATE CODES. METERS, TAPS, MATERIALS, WORKMANSHIP AND ALL FEES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL COMPLY WITH ALL REQUIREMENTS.
- ALL PAVEMENT, BASE AND SUBGRADE SHALL CONFORM TO NCDOT STANDARDS INCLUDING WORKMANSHIP, MATERIALS AND EQUIPMENT. APPROPRIATE BARRICADES, SIGNS, LIGHTS OR OTHER TRAFFIC CONTROL DEVICES SHALL BE PROVIDED IN ACCORDANCE WITH NCDOT TO MAINTAIN SAFETY AND TWO WAY TRAFFIC.
- ALL AREAS SHALL BE GRADED FOR POSITIVE DRAINAGE. THE CONTRACTOR SHALL REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO INSTALLATION. ALL AREAS SHALL BE SLOPED TO DRAIN AWAY FROM BUILDINGS AT ALL TIMES.
- CONCRETE STORM DRAINAGE PIPE SHALL BE CLASS III WITH RUBBER GASKETED JOINTS AND INSTALLED IN ACCORDANCE WITH MANUFACTURER'S REQUIREMENTS.
- USE WHITE LANE MARKING PAINT FOR ALL PAVEMENT MARKINGS. PAINT SHALL BE A CHLORINATED RUBBER ALKYL, FS IT-P-115, TYPE III, FACTORY MIXED, QUICK DRYING, NON BLEEDING, REFLECTIVE MATERIAL MAY BE ADDED AT OWNER'S OPTION FOR NIGHT REFLECTING.
- DITCHES SHALL BE CLASS 50.
- CONCRETE FOR WALKS, CURBS AND DRIVES SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI @ 28 DAYS - AIR ENTRAINED.
- FIELD TESTING SHALL BE DONE BY AN ADEQUATE TESTING LABORATORY PAID FOR BY THE OWNER. FURTHER TESTING REQUIRED DUE TO A FAILED TEST WILL BE PAID FOR BY THE CONTRACTOR.
- SEE GEOTECHNICAL REPORT NO. _____ DATED _____ BY _____ FOR ADDITIONAL REQUIREMENTS.

CONSTRUCTION SEQUENCE

- NO CUT SLOPE OR FILL SLOPE SHALL EXCEED A RISE OR FALL OF ONE FOOT FOR EVERY RUN OF 3 FEET (1 VERTICAL TO 3 HORIZONTAL).
- NO SEDIMENT WILL BE ALLOWED TO EXIT THE SITE. EROSION SHALL BE CONTROLLED INCLUDING SIDE SLOPES DURING AND AFTER CONSTRUCTION.
- INSTALL PRIMARY EROSION CONTROL MEASURES BEFORE BEGINNING CONSTRUCTION INCLUDING BUT NOT LIMITED TO GRAVELLED CONSTRUCTION ENTRANCE, SILT FENCE, CHECK DAMS, ETC. INSTALL ALL SECONDARY EROSION CONTROL MEASURES AS SOON AS POSSIBLE AFTER BEGINNING CONSTRUCTION.
- ALL EROSION CONTROL MEASURES TO BE INSPECTED AFTER EACH RAIN.
- SILT FENCE AND SILT PROTECTION ARE TO BE CLEANED WHEN 0.5 FEET OF SEDIMENT HAS ACCUMULATED IN FRONT OF THE DEVICE OR WHEN THEY LEAK OR FAIL. SEDIMENT TRAPS ARE CLEANED OUT AS STATED OR WHEN HALF FULL.
- IF APPLICABLE, CONSTRUCT PROPOSED RETENTION POND TO ACT AS A SEDIMENT BASIN DURING CONSTRUCTION. REMOVE ACCUMULATION OF SILT AS REQUIRED TO ALLOW PROPER FUNCTIONING. RESTORE POND TO DESIGN LEVELS AT THE COMPLETION OF CONSTRUCTION.
- IF APPLICABLE, INSTALL DROP INLETS WITH INLET PROTECTION TO ACT AS SILT TRAPS DURING CONSTRUCTION. REMOVE ACCUMULATED SILT AS NEEEDED TO PREVENT SILT FROM ENTERING STORM DRAIN.
- A 4" LAYER OF TOPSOIL SHALL BE APPLIED TO ALL NEW AREAS TO BE GRASSED.
- MAINTAIN ALL EROSION CONTROL MEASURES UNTIL PROJECT IS COMPLETE.
- MORE STRINGENT MEASURES MAY BE REQUIRED TO HALT EROSION IF THOSE ON THIS LIST ARE NOT EFFECTIVE.
- REMOVE ALL TEMPORARY EROSION CONTROL MEASURES UPON COMPLETION OF CONSTRUCTION. ALL PERMANENT MEASURES SHALL BE WELL ESTABLISHED PRIOR TO PROJECT COMPLETION.

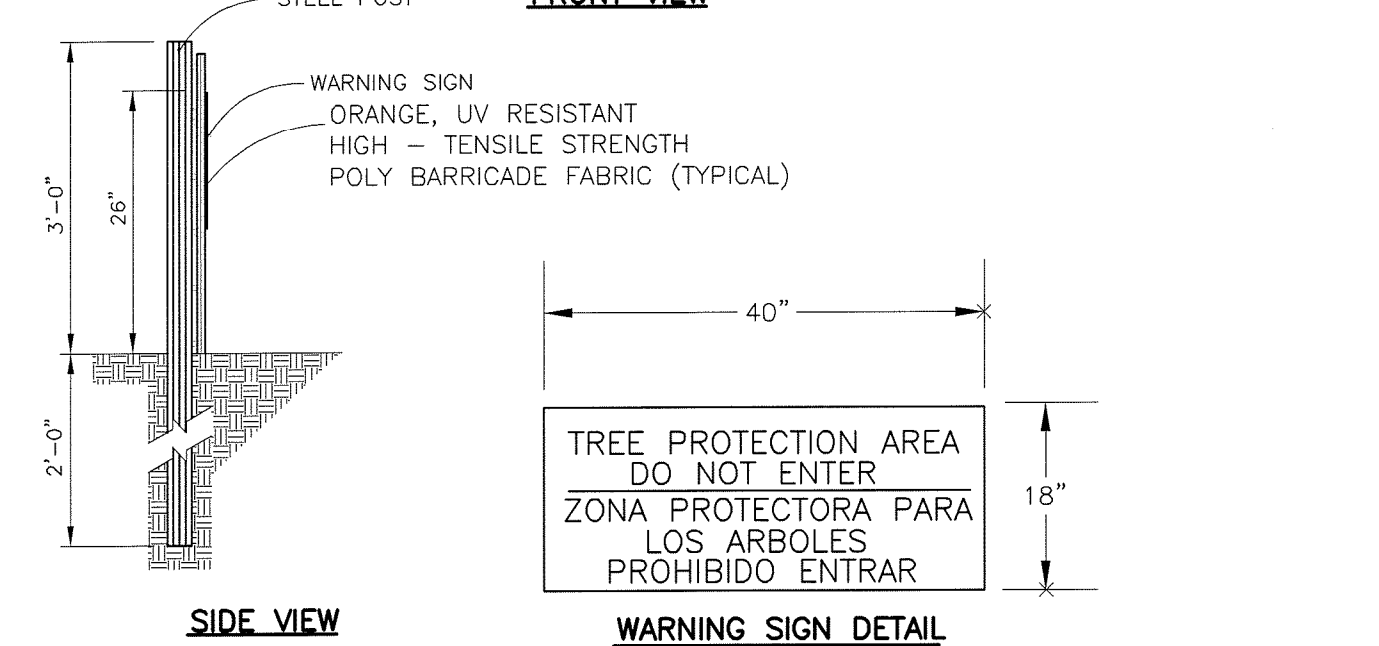
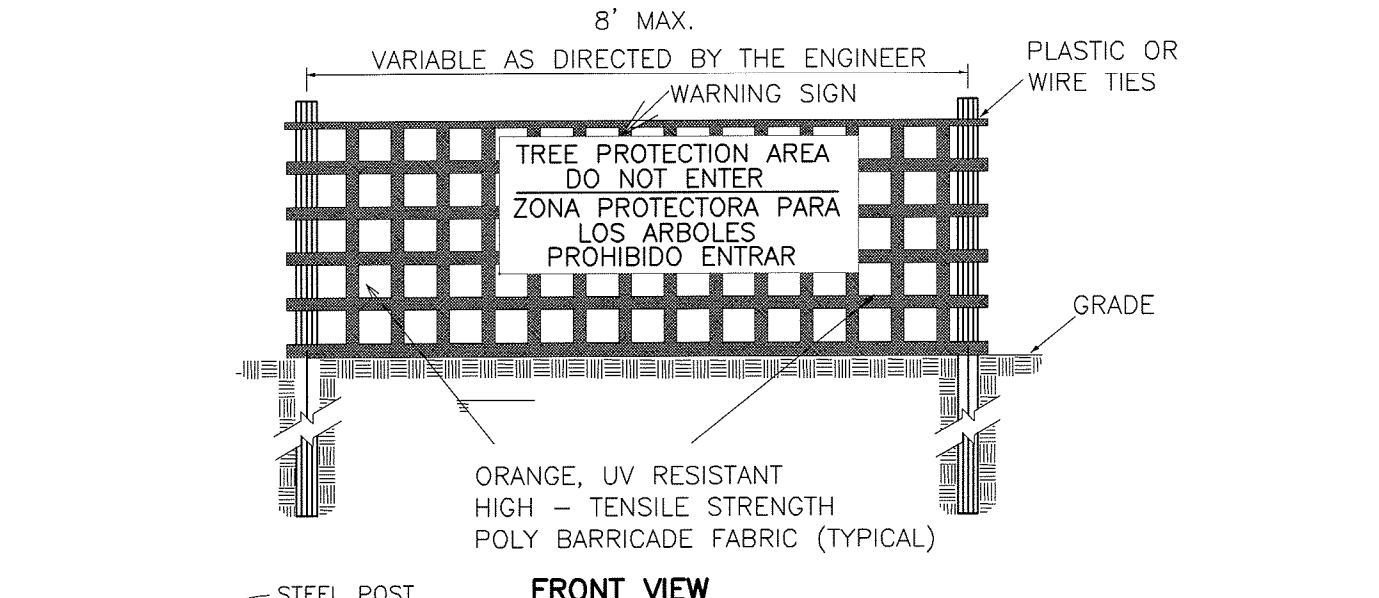
MAINTENANCE PLAN

- ALL EROSION AND SEDIMENT CONTROL PRACTICES WILL BE CHECKED FOR STABILITY AND OPERATION FOLLOWING EVERY RUNOFF-PRODUCING RAINFALL, BUT IN NO CASE, LESS THAN ONE (1) INCH OF RAINFALL. ALL STRUCTURES SHALL BE MAINTAINED AND OPERATIONAL AT ALL TIMES.
- ALL POINTS OF EGRESS WILL HAVE CONSTRUCTION ENTRANCES THAT WILL BE PERIODICALLY TOP-DRESSED WITH AN ADDITIONAL 2 INCHES OF #4 STONE TO MAINTAIN PROPER DEPTH. THEY WILL BE MAINTAINED IN A CONDITION TO PREVENT MUD OR SEDIMENT FROM LEAVING THE SITE. IMMEDIATELY REMOVE MATERIAL SPILLED, WASHED OR TRACKED OUT TO THE CONSTRUCTION ENTRANCE OR ROADWAYS.
- SEDIMENT WILL BE REMOVED FROM HARDWARE CLOTH AND GRAVEL INLET PROTECTION, BLOCK AND GRAVEL INLET, ROCK DOUGHNUT INLET PROTECTION AND ROCK PIPE INLET PROTECTION WHEN THE DESIGNED STORAGE CAPACITY HAS BEEN HALVED FILLED WITH SEDIMENT. ROCK WILL BE CLEANED OR REPLACED WHEN THE SEDIMENT POOL NO LONGER DRAINS AS DESIGNED. DEBRIS WILL BE REMOVED FROM THE ROCK AND HARDWARE CLOTH TO ALLOW PROPER FUNCTIONING. SEDIMENT WILL BE EMPTIED ONCE A WEEK AND AFTER EVERY RAIN EVENT. SEDIMENT WILL BE REMOVED FROM AROUND BEAVER DAMS, DANDY SACKS AND SOCKS ONCE A WEEK AND AFTER EVERY RAIN EVENT.
- DIVERSION DITCHES WILL BE CLEARED OUT IMMEDIATELY TO REMOVE SEDIMENT OR OBSTRUCTIONS FROM THE FLOW AREA. THE DIVERSION RIDGES WILL ALSO BE REPAIRED. SWALES MUST BE TEMPORARILY STABILIZED WITHIN 21 CALENDAR DAYS OF CEASE OF ANY PHASE OF ACTIVITY ASSOCIATED WITH A SWALE.
- SEDIMENT WILL BE REMOVED FROM BEHIND THE SEDIMENT FENCE WHEN IT BECOMES HALF FILLED. THE SEDIMENT FENCE WILL BE REPAIRED AS NECESSARY TO MAINTAIN A BARRIER. STAKES MUST BE STEEL. STAKE SPACING WILL BE 6 FEET MAX. WITH THE USE OF EXTRA STRENGTH FABRIC WITHOUT RAGGING. RAGGING WILL BE 6 FEET MAX. WHEN STANDARD STRENGTH FABRIC AND WIRE BACKING ARE USED. IF ROCK FILTERS ARE DESIGNED AT LOW POINTS IN THE SEDIMENT FENCE THE ROCK WILL BE REPAIRED OR REPLACED IF IT BECOMES HALF FULL OF SEDIMENT, NO LONGER DRAINS AS DESIGNED OR IS DAMAGED.
- SEDIMENT WILL BE REMOVED FROM SEDIMENT TRAPS WHEN THE DESIGNED STORAGE CAPACITY HAS BEEN HALVED FILLED WITH SEDIMENT. THE ROCK WILL BE CLEANED OR REPLACED WHEN THE SEDIMENT POOL NO LONGER DRAINS OR WHEN THE ROCK IS DISLOADED. BARRILES WILL BE REPAIRED OR REPLACED IF THEY TEAR, DECOMPOSE OR BECOME INEFFECTIVE. THEY WILL BE REPLACED PROMPTLY. SEDIMENT WILL BE REMOVED WHEN DEPOSITS REACH HALF THE HEIGHT OF THE 1ST BARRILE. FLOATING SKIMMERS WILL BE INSPECTED WEEKLY AND WILL BE KEPT CLEAN.
- ALL SEEDED AREAS WILL BE FERTILIZED, RESEED AS NECESSARY, AND MULCHED ACCORDING TO SPECIFICATIONS IN THE VEGETATIVE PLAN TO MAINTAIN A VIGOROUS, DENSE VEGETATIVE COVER. ALL SLOPES WILL BE STABILIZED WITHIN 21 CALENDAR DAYS. ALL OTHER AREAS WILL BE STABILIZED WITHIN 15 WORKING DAYS.
- FLOCCULANTS WILL BE USED TO ADDRESS TURBIDITY ISSUES. THE PUMPS, TANKS, HOSES AND INJECTION SYSTEMS WILL BE CHECKED FOR PROBLEMS OR TURBID DISCHARGES DAILY.

SITE POLLUTANTS NOTES

- LOCATE AREAS DEDICATED FOR MANAGEMENT OF LAND CLEARING AND DEMOLITION DEBRIS, CONSTRUCTION AND DOMESTIC WASTE AND HAZARDOUS OR TOXIC WASTE. THE LOCATION SHALL BE AT LEAST 25' AWAY FROM STORM DRAIN INLETS AND SURFACE WATERS UNLESS IT CAN BE SHOWN THAT NO OTHER ALTERNATIVES ARE REASONABLY AVAILABLE.
- INSTALL A SPILL CONTROL PLAN TO ADDRESS AND MANAGED TO AVOID CONTACT WITH SURFACE WATERS, WETLANDS OR BUFFERS. NO CONCRETE OR CEMENT SLURRY SHALL BE DISCHARGED FROM THE SITE.
- HARDED CONTACT WASTE SHALL BE REMOVED FROM THE SITE AND DISPOSED OF IN A PROPERLY PERMITTED FACILITY. LITTER AND SANITARY WASTE-THE PERMITTEE SHALL CONTROL THE MANAGEMENT AND DISPOSAL OF LITTER AND SANITARY WASTE FROM THE SITE.
- LOCATE EARTHEN-MATERIAL STOCK PILE AREAS AT LEAST 50' AWAY FROM STORM DRAIN INLETS AND SURFACE WATERS UNLESS IT CAN BE SHOWN THAT NO OTHER ALTERNATIVES ARE REASONABLY AVAILABLE.
- CONCRETE INCLUDING EXCESS CONCRETE MUST BE CONTROLLED, EXCESS CONCRETE MUST BE MANAGED TO AVOID CONTACT WITH SURFACE WATERS, WETLANDS OR BUFFERS. NO CONCRETE OR CEMENT SLURRY SHALL BE DISCHARGED FROM THE SITE.
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- NOTES:**
- PROTECT CRITICAL ROOT ZONE (CRZ) OF TREES PRIOR TO CONSTRUCTION. CLEARLY MARK THE TREES AND ERECT A PROTECTIVE BARRIER AT THE CRZ. BARRIER SHALL BE MAINTAINED UNTIL CONSTRUCTION IS COMPLETE.
 - CRZ RADIUS IS 1 FT PER INCH OF TREE DIAMETER AT BREAST HEIGHT (DBH).
 - IF CONSTRUCTION OCCURS WITHIN THE CRZ, AT LEAST 12" OF MULCH AND/OR LOGGING MATS SHALL BE PLACED WHERE MACHINERY MANEUVERS TO REDUCE SOIL COMPACTION IN THIS ZONE.
 - WHERE SIDEWALKS AND PATHWAYS PASS WITHIN CRZ, EXTRA CARE SHALL BE TAKEN TO AVOID DAMAGE TO THE ROOTS. ALTERNATE CONSTRUCTION METHODS, SUCH AS A REINFORCED SIDEWALK, SHALL BE IMPLEMENTED AS NECESSARY.
 - FOR ALL TREES, CUTTING OF LARGE STRUCTURAL ROOTS LOCATED NEAR THE BASE OF THE TRUNK IS PROHIBITED. DO NOT COMPACT SOIL BENEATH TREES. NO VEHICLE SHALL BE ALLOWED TO PARK UNDER TREES. NO MATERIALS OR EQUIPMENT SHALL BE STORED BENEATH TREES. DAMAGING THE BARK WITH LAWNMOWERS, CONSTRUCTION EQUIPMENT, OR ANYTHING ELSE IS PROHIBITED. CONTRACTOR SHALL REPAIR DAMAGE TO TREES.
 - FAILING TO INSTALL OR MAINTAIN PROTECTION MEASURES SHALL RESULT IN A STOP WORK ORDER AND FINE OF \$500/DAY. DISTURBANCE OTHER THAN THAT ALLOWED ON THE APPROVED PLAN WILL REQUIRE OWNER TO POST A LETTER OF CREDIT FOR 3 YRS FOR TREE MITIGATION.

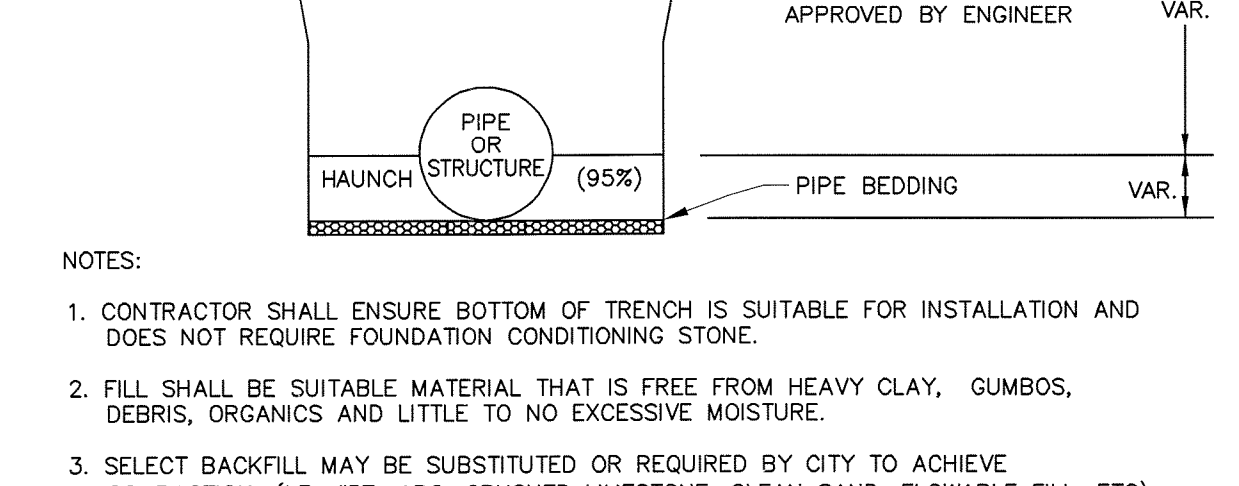
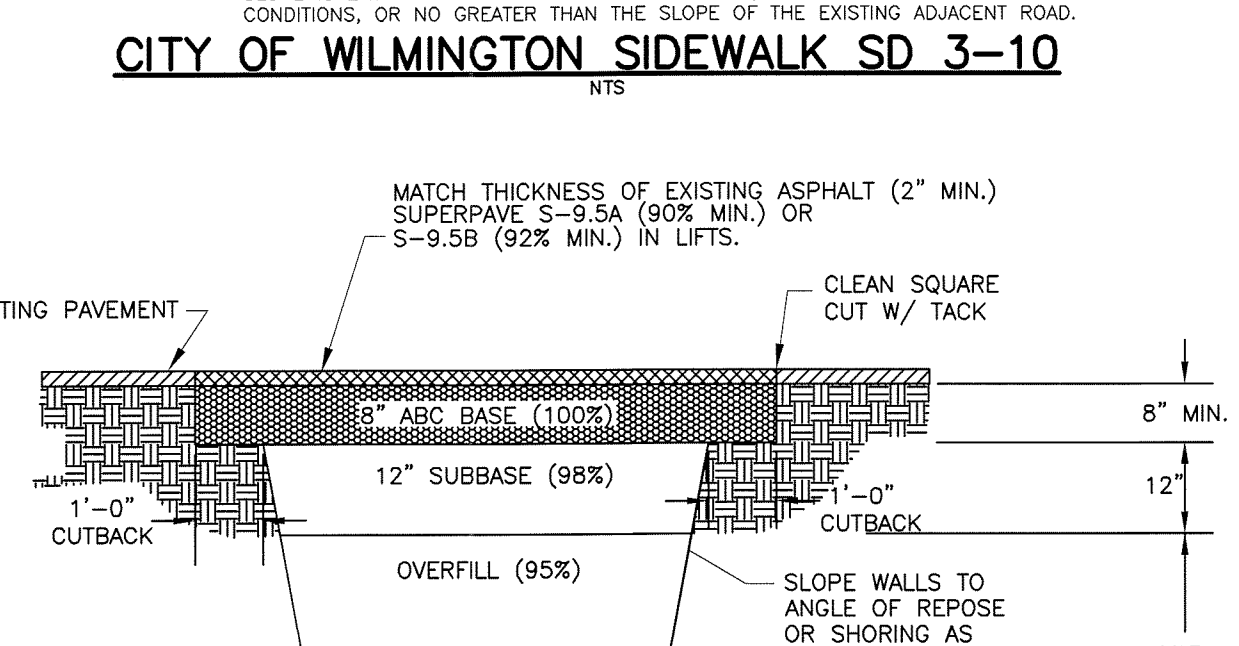


- NOTES:**
- THE TREE PROTECTION FENCING SHALL NOT BE VIOLATED FOR THE ENTIRE DURATION OF THE PROJECT WITHOUT APPROVAL FROM URBAN FORESTRY STAFF.
 - WARNING SIGNS TO BE MADE OF DURABLE, WEATHERPROOF MATERIAL. LETTERS TO BE 3" HIGH, MINIMUM, CLEARLY LEGIBLE AND SPACED AS DETAILED.
 - SIGNS SHALL BE PLACED AT 50' MAXIMUM INTERVALS. PLACE A SIGN AT EACH END OF LINEAR TREE PROTECTION AND 50' ON CENTER THEREAFTER. FOR TREE PROTECTION AREAS LESS THAN 100' IN PERIMETER, PROVIDE NO LESS THAN TWO SIGNS PER PROTECTION AREA.
 - ATTACH SIGNS SECURELY TO FENCE POSTS AND FABRIC. MAINTAIN TREE PROTECTION FENCE AND SIGNS THROUGHOUT DURATION OF PROJECT.
 - TREE PROTECTION FENCING AND SIGNAGE SHALL BE REMOVED AFTER CONSTRUCTION.
 - ADDITIONAL SIGNS MAY BE REQUIRED BY CITY OF WILMINGTON, BASED ON ACTUAL FIELD CONDITIONS.

TREE PROTECTION DURING CONSTRUCTION SD 15-09
NOT TO SCALE

CITY OF WILMINGTON SIDEWALK SD 3-10
NTS

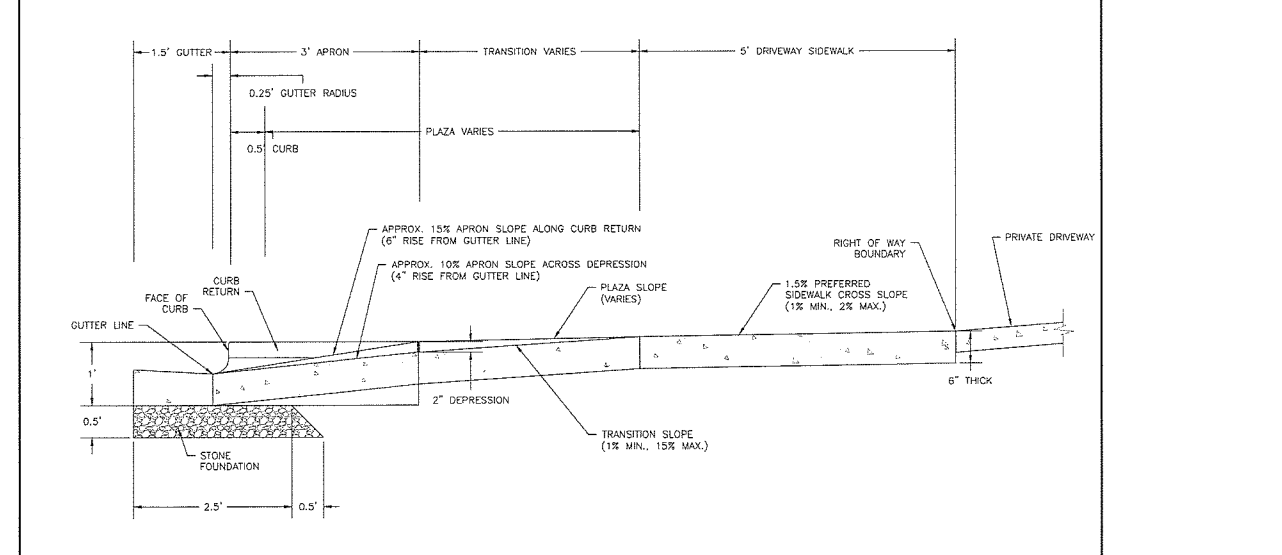
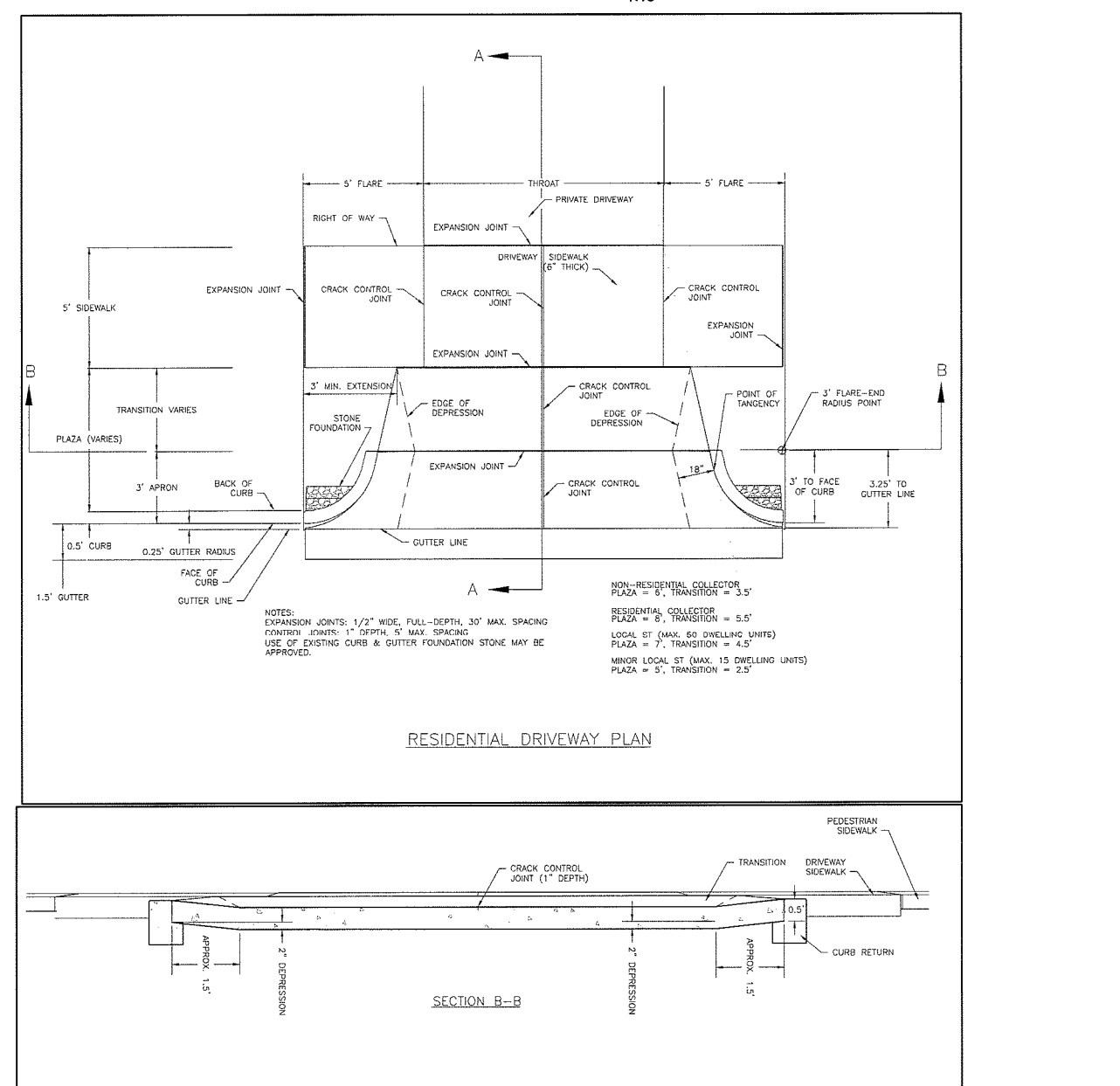
- JOINT MATERIAL TO COMPLY WITH CURRENT NCDOT STANDARDS.
- SANITARY SEWER CLEAN-OUTS, WATER METERS, MANHOLES, AND VALVE UIDS TO BE LOCATED OUTSIDE SIDEWALK WHERE FEASIBLE.
- MINIMUM SIDEWALK WIDTH TO BE 6' MINIMUM IF PLACED AT BACK OF CURB.
- CONCRETE FOR ALL SIDEWALKS (EXCEPT ANY PORTION CONTAIN WITHIN A DRIVEWAY APRON) SHALL BE CLASS "A" - 3,000 PSI.
- MINIMUM REPLACEMENT FOR REPAIRS IS A 5' X 5' PANEL.
- 4" STONE BASE MAY BE REQUIRED FOR POOR SOIL CONDITIONS.
- MINIMUM DEPTH FOR TUNNELING BELOW SIDEWALK IS 12"
- MAX ADJACENT GROUND SLOPE WITHOUT RAILING IS 2:1
- MIN. GRADE FOR PROPER DRAINAGE IS 1/8" IN AT LEAST 1 DIRECTION. MAX. CROSS SLOPE IS 2%. MAX LONGITUDINAL SLOPE IS 0.3%, 10% IF LIMITED BY EXISTING CONDITIONS, OR NO GREATER THAN THE SLOPE OF THE EXISTING ADJACENT ROAD.



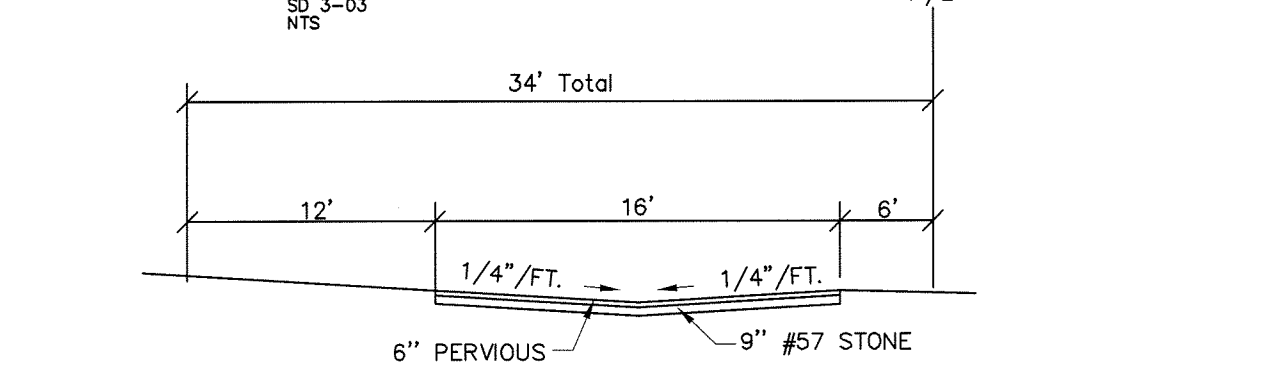
- NOTES:**
- CONTRACTOR SHALL ENSURE BOTTOM OF TRENCH IS SUITABLE FOR INSTALLATION AND DOES NOT REQUIRE FOUNDATION CONDITIONING STONE.
 - FILL SHALL BE SUITABLE MATERIAL THAT IS FREE FROM HEAVY CLAY, GUMBOS, DEBRIS, ORGANICS AND LITTLE TO NO EXCESSIVE MOISTURE.
 - SELECT BACKFILL MAY BE SUBSTITUTED OR REQUIRED BY CITY TO ACHIEVE COMPACTION, (I.E. #57, ABC, CRUSHED LIMESTONE, CLEAN SAND, FLOWABLE FILL, ETC).
 - SOIL SHALL BE INSTALLED IN 6"-8" LIFTS AND COMPACTED BY A MECHANIZED TAMPER (I.E. JUMPING JACK), HOWEVER, VIBRATORY ROLLERS > 18" WIDTH MAY BE USED FOR LARGER EXCAVATIONS. THE PLATE TAMP METHOD SHALL NOT BE USED.
 - ALL APPROVED CASTINGS SHALL BE SET FLUSH TO GRADE AND SUPPORTED IF APPLICABLE.
 - COMPACT MATERIALS TO MINIMUM % DENSITY SHOWN IN DIAGRAM AS DETERMINED BY THE STANDARD PROCTOR METHOD ASTM D-698-A FOR SOILS, AND ASTM D-698-C FOR ABC-STONE, AND BY NUCLEAR GAUGE OR CORE SAMPLE FOR ASPHALT.
 - CUTBACKS OF ASPHALT SHALL BE PREPARED ON EDGE OF EXCAVATION OVER TOP OF UNDISTURBED SOIL.

PAVEMENT REPAIRS-UTILITY CUTS
SD 15-05
NTS

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.



RESIDENTIAL DRIVEWAY PLAN
SD 3-03
NTS



PRIVATE ACCESS AND UTILITY EASEMENT CROSS SECTION-INVERTED CROWN
SD 15-14
NTS

- NOTES:**
- 400' Maximum length to furthest unit from public street.
 - Serves a maximum of 4 single-family or duplex units.
 - Driveway width is 23' at the public street right-of-way.

Approved Construction Plan

Name	Date
Planning	
Traffic	
Fire	

City of Wilmington
Public Services Engineering Division
APPROVED DRAINAGE PLAN
Date: _____ Permit # _____
Signed: _____

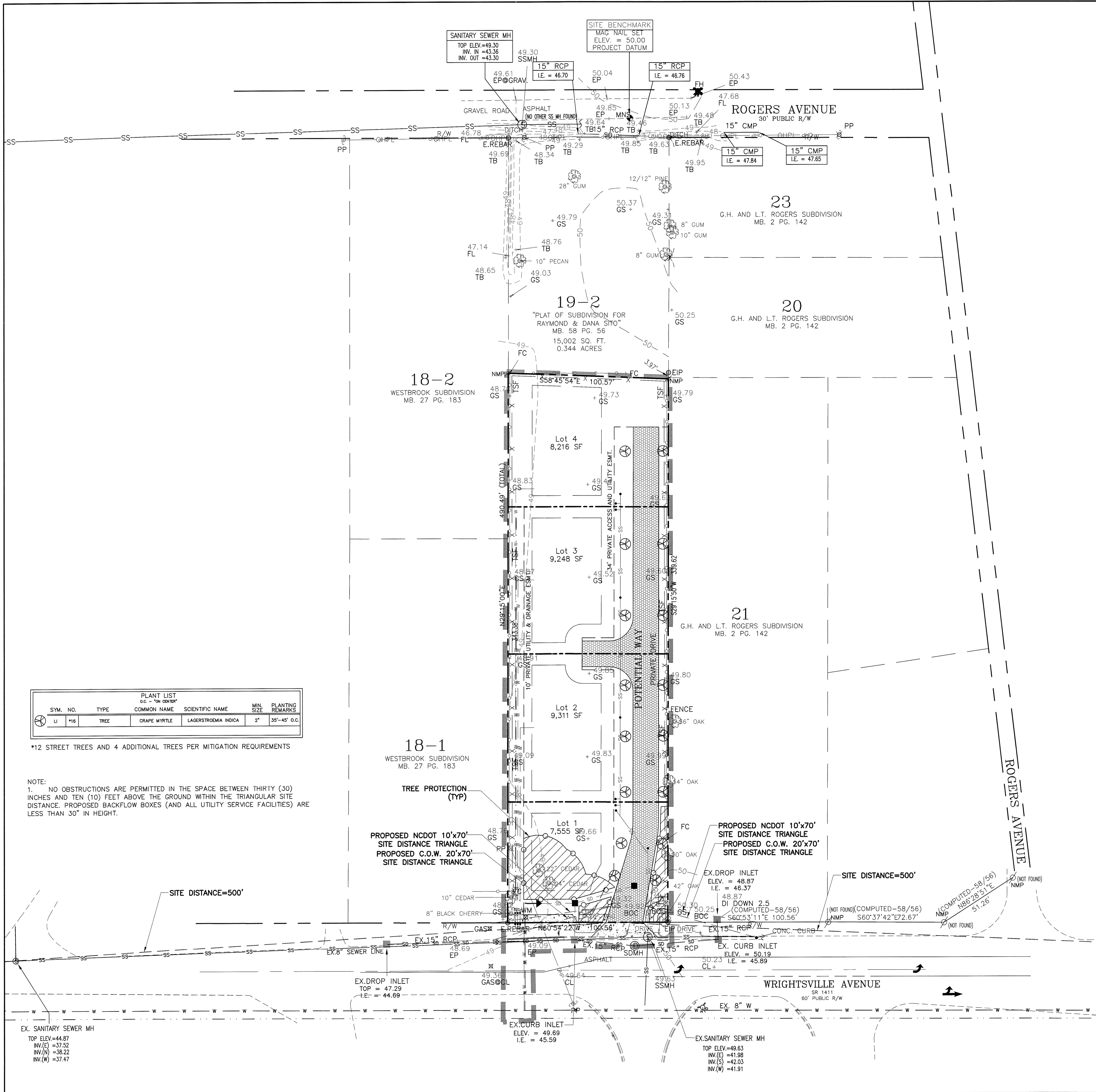
TRIPP ENGINEERING, P.C.
419 Chestnut Street
Wilmington, North Carolina 28401
Phone 910-763-5100
Fax 910-763-5631

WILMINGTON, NORTH CAROLINA

DATE 03-02-17
DESIGN PGT
DRAW EJW

C5

SHEET 5 OF 5
16024



PLANT LIST					
SYM. NO.	TYPE	COMMON NAME	SCIENTIFIC NAME	MIN. SIZE	PLANTING REMARKS
LI 116	TREE	GRAPE MYRTLE	LAGERSTROEMIA INDICA	2"	35'-45' O.C.

*12 STREET TREES AND 4 ADDITIONAL TREES PER MITIGATION REQUIREMENTS

NOTE:
 1. NO OBSTRUCTIONS ARE PERMITTED IN THE SPACE BETWEEN THIRTY (30) INCHES AND TEN (10) FEET ABOVE THE GROUND WITHIN THE TRIANGULAR SITE DISTANCE. PROPOSED BACKFLOW BOXES (AND ALL UTILITY SERVICE FACILITIES) ARE LESS THAN 30" IN HEIGHT.

REVISIONS		
Date	Description	By
05-04-17	COW & DOT COMMENTS	EJW



LANDSCAPING
 1) A LANDSCAPING PLAN INDICATING THE LOCATION OF REQUIRED STREET TREES SHALL BE SUBMITTED TO THE CITY OF WILMINGTON TRAFFIC ENGINEERING DIVISION AND THE PARKS AND RECREATION DEPARTMENT FOR REVIEW AND APPROVAL PRIOR TO THE RECORDING OF THE FINAL PLAT.
 2) NO OBSTRUCTIONS ARE PERMITTED IN THE SPACE BETWEEN THIRTY (30) INCHES AND TEN (10) FEET ABOVE THE GROUND WITHIN THE TRIANGULAR SITE DISTANCE. PROPOSED BACKFLOW BOXES (AND ALL UTILITY SERVICE FACILITIES) ARE LESS THAN 30" IN HEIGHT.

SITE DATA:
 PROPERTY OWNER: CM & KW INVESTMENTS LLC
 APPLICANT MAILING ADDRESS: 3330 RIVER ROAD WILMINGTON, NC 28412
 APPLICANT PHONE NUMBER: 910.780.3107
 APPLICANT EMAIL ADDRESS: CDUMURRAY70@GMAIL.COM

PROJECT ADDRESS: 6317 WRIGHTSVILLE AVE
 PIN NUMBER: RO6616-001-013-000

AREA NOT IN A FEMA 100-YEAR FLOOD ZONE: R-5 (CD)
 ZONING DISTRICT: RESIDENTIAL DISTRICT (CONDITIONAL DISTRICT)
 TRACT AREA: 34,333 SF (0.79 AC)
 DISTURBED AREA: 0.90 AC
 SETBACKS REQUIRED: FRONT: 20'
 REAR: 15'
 INTERIOR SIDE: 7'
 CORNER SIDE: 10.5'

PROPOSED BUILDING SETBACKS: FRONT: 30'
 REAR: 25'
 SIDE: 10'

BUILDING HEIGHT: 35' MAXIMUM
 ON-SITE IMPERVIOUS AREAS: 0 SF
 EXISTING IMPERVIOUS AREAS: 0 SF
 OFF-SITE IMPERVIOUS: 505 SF
 OFF-SITE SIDEWALK: 300 SF
 OFF-SITE DRIVEWAY APRON: 805 SF
 TOTAL OFF-SITE IMPERVIOUS: 805 SF

PERVIOUS DRIVE (NO SW CREDIT): 5,640 SF (16%)
 MAXIMUM IMPERVIOUS NOT TO EXCEED 40% PER LOT

BUILDING USE: RESIDENTIAL
 (4) 3 BEDROOM SINGLE FAMILY RESIDENCES

PARKING REQUIRED: 2.5 SPACES/UNIT
 PARKING PROVIDED: 1 CAR GARAGE AND 2 DRIVEWAY SPACES

CAMA LAND USE: WATERSHED RESOURCE PROTECTION

PUBLIC WATER AND SEWER BY CFPWA
 EXISTING WATER FLOW: 0 GPD
 PROPOSED WATER FLOW: 4 @ 400 GPD
 EXISTING SEWER FLOW: 0 GPD
 PROPOSED SEWER FLOW: 4 @ 350 GPD

Approved Construction Plan

Name _____ Date _____

Planning _____

Traffic _____

Fire _____

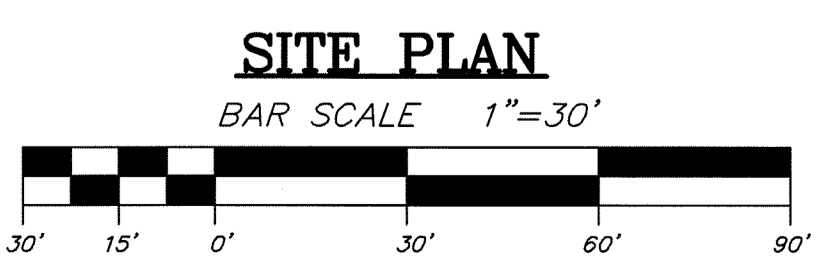
CITY OF WILMINGTON
 NORTH CAROLINA
 Public Services • Engineering Division
 APPROVED DRAINAGE PLAN

Date: _____ Permit # _____

Signed: _____

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

- LEGEND**
- SS - PROPOSED SEWER
 - W - PROPOSED WATER
 - SD - PROPOSED STORM WATER
 - TSF x - TSF
 - - LIMITS OF DISTURBANCE
 - [Pattern] - PROPOSED POROUS PAVEMENT
 - [Symbol] - TREE PROTECTION



TRIPP ENGINEERING, P.C.
 419 Chestnut Street
 Wilmington, North Carolina 28401
 Phone 910-763-5100
 Fax 910-763-5631
 © LICENSE NO. 35147

LANDSCAPE PLAN
VILLE TERRACE
 WILMINGTON, NORTH CAROLINA

DATE 03-02-17
 DESIGN PGT
 DRAWN EJW

L1
 SHEET 1 OF 1
 16024